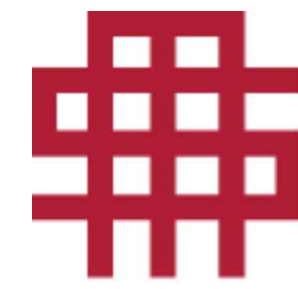


# SITE DEVELOPMENT PLANS

FOR



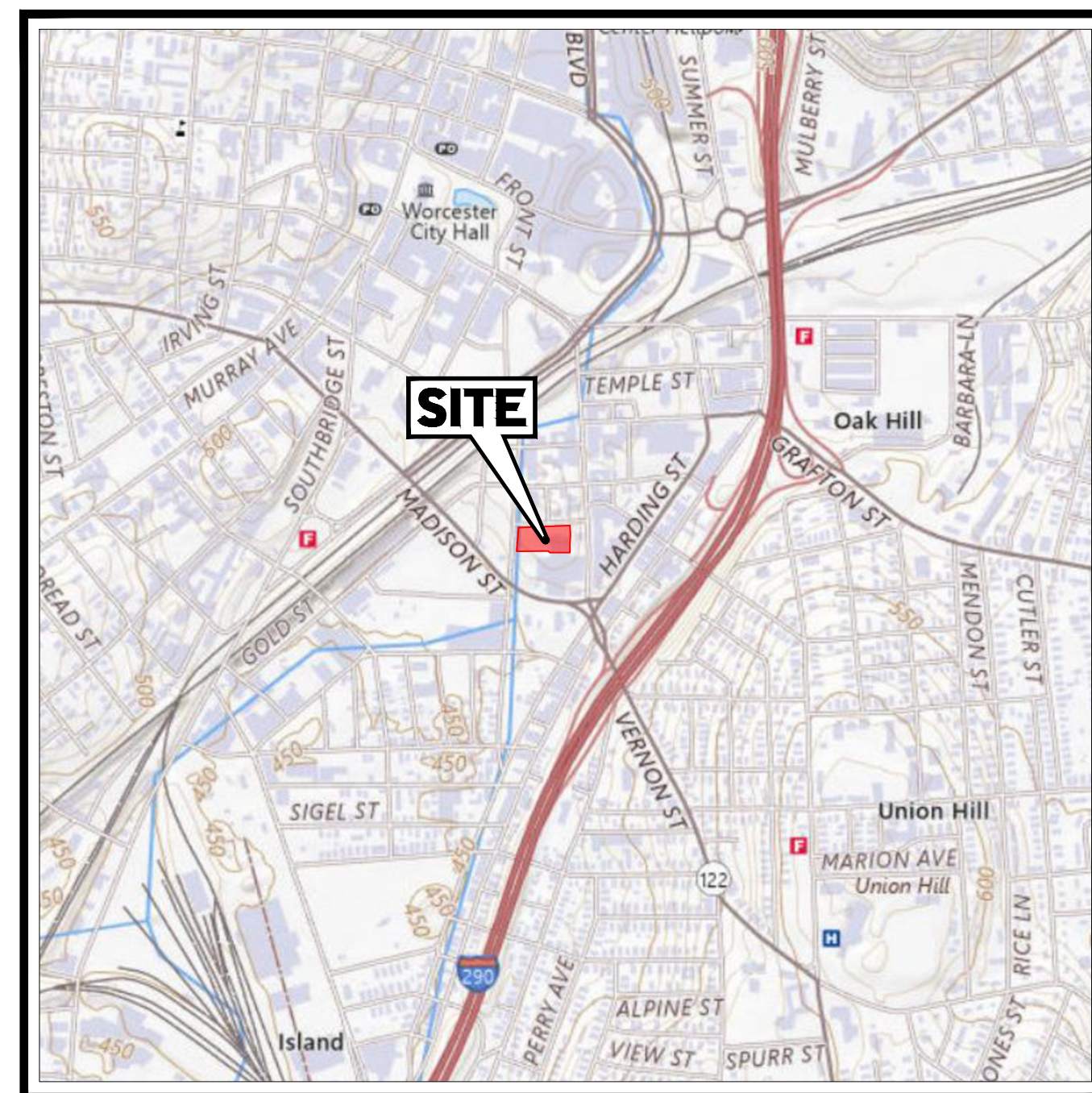
**SMC MANAGEMENT CORPORATION**  
Real Estate Investment • Development • Asset Management

## PROPOSED RESIDENCES AT TABLE TALK SQUARE

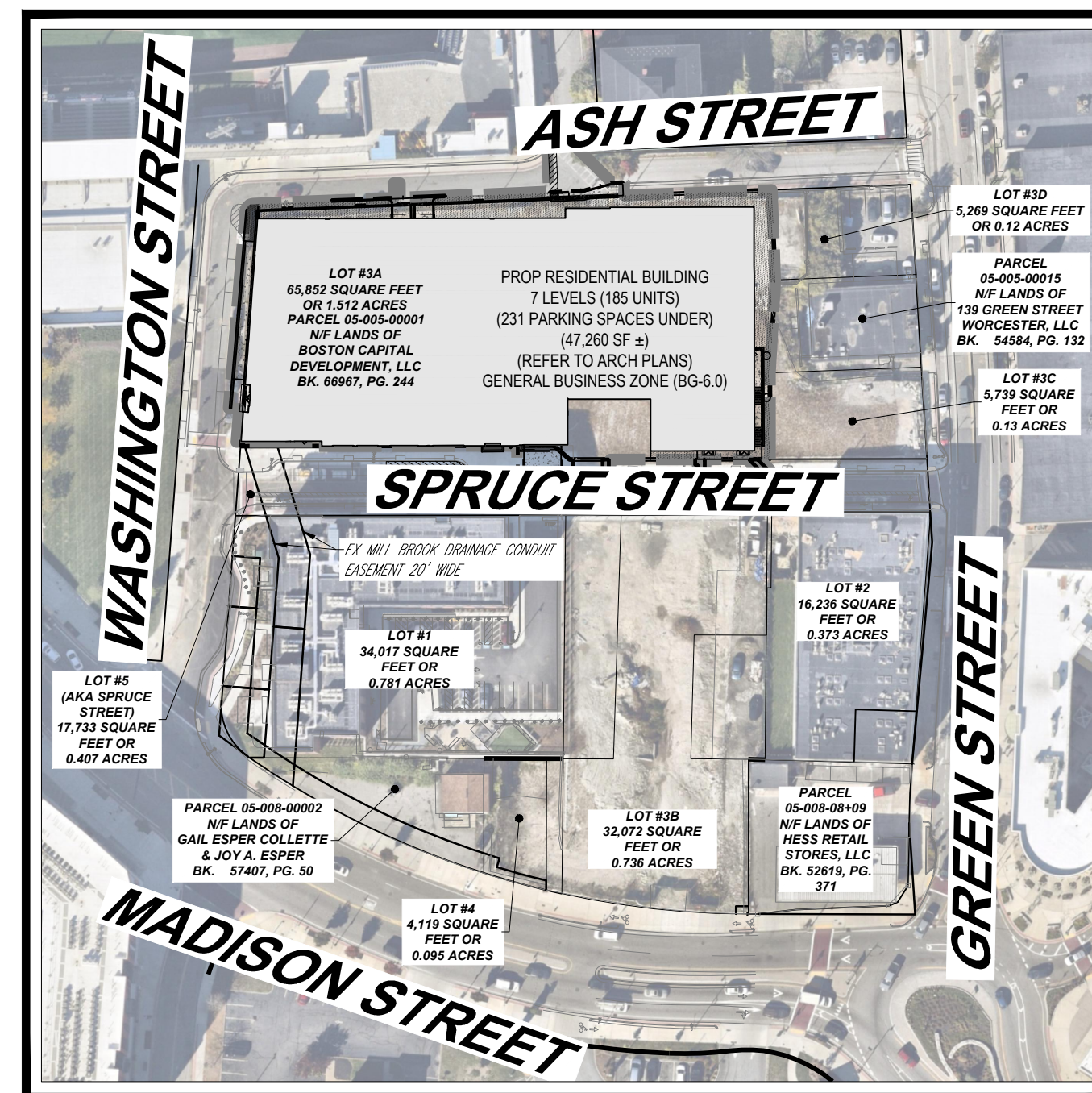
LOCATION OF SITE  
120 WASHINGTON STREET, CITY OF WORCESTER  
WORCESTER COUNTY, MASSACHUSETTS  
MAP 5, BLOCK 5, LOT 0003A

### REFERENCES AND CONTACTS

- REFERENCES**
- AS-BUILT SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 05/22/2021 JOB # (SURVEY JOB #03-200266-01 ELEVATIONS: NAVD 1988
  - APPROVAL NOT REQUIRED PLAN OF LAND: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 04/04/2022 JOB # (SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
  - APPROVAL NOT REQUIRED PLAN OF LAND: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 12/11/2024 JOB # (SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
  - BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 03/24/2022 JOB # (SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
  - BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 12/09/2024 JOB # (SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
  - TITLE REVIEW SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 10/06/2020 JOB # (SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
  - GEOTECHNICAL EVALUATION REPORT: C24 GEO ENVIRONMENTAL 249 VANDERBILT AVENUE NORWOOD, MA 02062 DATED: 06/11/2023
  - ARCHITECTURAL PLAN: SMC-RESIDENCE AT TABLE TALK SQUARE 104 CONGRESS STREET PORTSMOUTH, NH 03801 DATED: 12/31/2024
- GOVERNING AGENCIES**
- WORCESTER PLANNING & REGULATORY SERVICES (DPRS) 455 MAIN STREET WORCESTER MA, 01608 PHONE: (508) 799-1400
  - BUILDING DEPARTMENT 23 MEADE STREET WORCESTER, MA 01610 PHONE: (508) 799-1198
  - FIRE DEPARTMENT 141 GROVE STREET WORCESTER MA, 01605 PHONE: (508) 799-1821
  - ROW JURISDICTION
    - TRAFFIC, STORMWATER, WATER & SEWER DEPARTMENT OF PUBLIC WORKS (DPW) 20 EAST WORCESTER STREET WORCESTER MA 01604 PHONE: (508) 929-1300



**TAX MAP**  
SCALE: 1" = 1,000'  
SOURCE: USGS



**AERIAL MAP**  
SCALE: 1" = 100'  
SOURCE: NEARMAP

**OWNER**  
**Boston Capital**  
11 BEACON STREET, SUITE 325, BOSTON MA 02108  
RICH MAZZOCCHI

**DEVELOPER**  
**SMC MANAGEMENT CORPORATION**  
Real Estate Investment • Development • Asset Management  
11 BEACON STREET, SUITE 325, BOSTON MA 02108  
RICH MAZZOCCHI

PREPARED BY



CONTACT: AUSTIN TURNER



**REVISIONS**

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/08/2025	CITY STAFF COMMENTS	OCR	AJS
2	01/08/2025	ZONING TABLE UPDATES	OCR	AJS



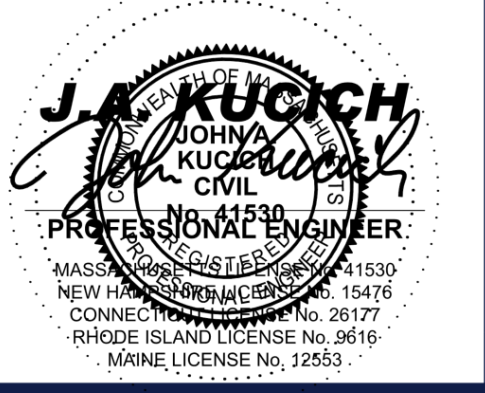
### ENTITLEMENT SET

- THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
- PROJECT No.: MAA240356-00-1A  
DRAWN BY: AJS / MMA  
DATE: 12/22/24  
CAD ID: P-CIVL-CND5
- PROJECT:
- SITE DEVELOPMENT PLANS**  
FOR
- 
- PROPOSED  
**RESIDENCES AT TABLE TALK SQUARE**
- MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**SHEET INDEX**

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
JURISDICTIONAL NOTES	C-103
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-801
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-803
CONSTRUCTION DETAILS	C-901
CONSTRUCTION DETAILS	C-902
CONSTRUCTION DETAILS	C-903
OVERALL LANDSCAPE PLAN	L-101
LANDSCAPE PLAN ENLARGEMENTS	L-102
LANDSCAPE NOTES AND DETAILS	L-103
LIGHTING PLAN	L-201
LIGHTING NOTES AND DETAILS	L-202
SURVEY PLANS (BY OTHERS)	6 SHEETS

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SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)



SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**C-101**

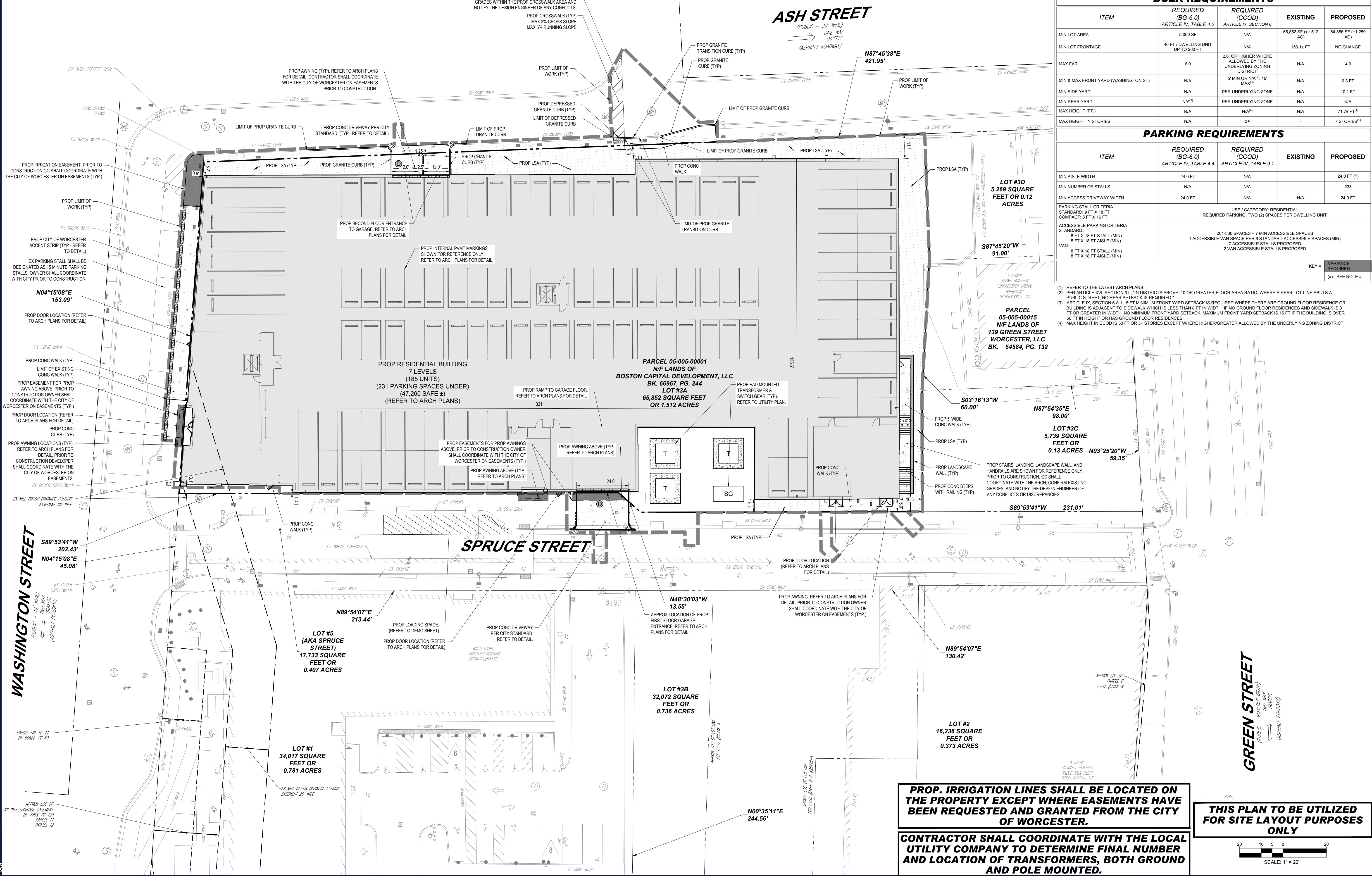
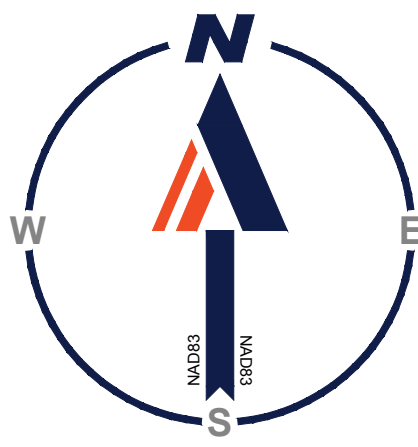
REVISION 2 - 01/08/2025

BOHLER ENGINEERING, INC. PROJECT: 2024-001-MAA240356-00-1A-1-LAYOUT: C-101 COVER









ZONING TABLE				
OVERLAY DISTRICT: COMMERCIAL CORRIDORS; CANAL DISTRICT PARKING SUBAREA, DOWNTOWN SUBAREA, DOWNTOWNBLACKSTONE CANAL SIGN OVERLAY DISTRICT				
ZONE: BG-6.0 GENERAL BUSINESS				
USE: RESIDENTIAL				
MAP: 5 BLK: 5 LOT: 0003A				
APPLICANT/ OWNER INFORMATION				
APPLICANT:	SMC MANAGEMENT CORP. 100 GALEN STREET, SUITE 301 WATERTOWN, MA 02472			
PROPERTY OWNER:	BOSTON CAPITAL DEVELOPMENT, LLC 11 BEACON STREET, SUITE 325 BOSTON, MA 02108 USA			
BULK REQUIREMENTS				
ITEM	REQUIRED (BG-6.0) ARTICLE IV, TABLE 4.2	REQUIRED (CCOD) ARTICLE IX, SECTION 6	EXISTING	PROPOSED
MIN LOT AREA	5,000 SF	N/A	65,852 SF (1.512 AC)	54,896 SF (1.259 AC)
MIN LOT FRONTAGE	40 FT / DWELLING UNIT UP TO 200 FT	N/A	153.14 FT	NO CHANGE
MAX FAR	6.0	2.0, OR HIGHER WHERE ALLOWED BY THE UNDERLYING ZONING DISTRICT	N/A	4.3
MIN & MAX FRONT YARD (WASHINGTON ST)	N/A	5' MIN OR N/A <sup>(1)</sup> , 15' MAX <sup>(2)</sup>	N/A	0.3 FT
MIN SIDE YARD	N/A	PER UNDERLYING ZONE	N/A	10.1 FT
MIN REAR YARD	N/A <sup>(3)</sup>	PER UNDERLYING ZONE	N/A	N/A
MAX HEIGHT (FT.)	N/A	N/A <sup>(4)</sup>	N/A	7.175 FT <sup>(1)</sup>
MAX HEIGHT IN STORIES	N/A	3+	-	7 STORIES <sup>(1)</sup>

PARKING REQUIREMENTS				
ITEM	REQUIRED (BG-6.0) ARTICLE IV, TABLE 4.4	REQUIRED (CCOD) ARTICLE IV, TABLE 9.1	EXISTING	PROPOSED
MIN AISLE WIDTH	24.0 FT	N/A	-	24.0 FT (1)
MIN NUMBER OF STALLS	N/A	N/A	-	233
MIN ACCESS DRIVEWAY WIDTH	24.0 FT	N/A	N/A	24.0 FT
PARKING STALL CRITERIA STANDARD: 9 FT X 18 FT COMPACT; 8 FT X 16 FT	REQUIRED PARKING: RESIDENTIAL REQUIRED PARKING: TWO (2) SPACES PER DWELLING UNIT			
ACCESSIBLE PARKING CRITERIA STANDARD: 8 FT X 18 FT STALL (MIN) 8 FT X 18 FT AISLE (MIN) VAN: 8 FT X 18 FT STALL (MIN) 8 FT X 18 FT AISLE (MIN)	201-300 SPACES = 7 MIN ACCESSIBLE SPACES 1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN) 7 ACCESSIBLE STALLS PROPOSED 2 VAN ACCESSIBLE STALLS PROPOSED			
KEY =				VARIANCE REQUIRED
				(*) - SEE NOTE #

- REFER TO THE LATEST ARCH PLANS
- PER ARTICLE XVI, SECTION 2.1.1, "IN DISTRICTS ABOVE 2.0 OR GREATER FLOOR AREA RATIO, WHERE A REAR LOT LINE ABUTS A PUBLIC STREET, NO REAR SETBACK IS REQUIRED"
- ARTICLE IX, SECTION 6.A.1 - 5 FT MINIMUM FRONT YARD SETBACK IS REQUIRED WHERE THERE ARE GROUND FLOOR RESIDENCE OR BUILDING IS ADJACENT TO SIDEWALK WHICH IS LESS THAN 8 FT IN WIDTH; IF NO GROUND FLOOR RESIDENCES AND SIDEWALK IS 8 FT OR GREATER IN WIDTH, NO MINIMUM FRONT YARD SETBACK, MAXIMUM FRONT YARD SETBACK IS 15 FT IF THE BUILDING IS OVER 50 FT IN HEIGHT OR HAS GROUND FLOOR RESIDENCES.
- MAX HEIGHT IN CCOD IS 50 FT OR 3+ STORIES EXCEPT WHERE HIGHER/GREATER ALLOWED BY THE UNDERLYING ZONING DISTRICT

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SUSTAINABLE DESIGN  
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TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/06/2025	CITY STAFF COMMENTS	OCR	AJS
2	01/08/2025	ZONING TABLE UPDATES	OCR	AJS

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PROJECT No.: MAA240356-00-1A  
DRAWN BY: AJS / MMA  
CHECKED BY: AJS / MMA  
DATE: 12/12/2024  
CAD LID: P-CIVIL-PROF

**SITE DEVELOPMENT PLANS**  
FOR  
  
PROPOSED RESIDENCES AT TABLE TALK SQUARE

MAP: 5 BLK: 5 LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**BOHLER**  
352 TURNPIKE ROAD, 3RD FLOOR  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
www.BohlerEngineering.com

**J.A. KUCICH**  
PROFESSIONAL ENGINEER  
MAINE LICENSE No. 15476  
CONNECTION No. 20177  
PHONE: (508) 480-9900  
MAINE LICENSE No. 12553

SHEET TITLE:

**SITE PLAN**

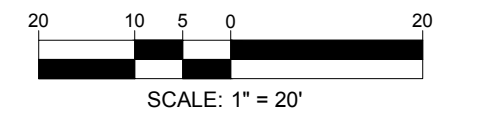
SHEET NUMBER:  
**C-301**

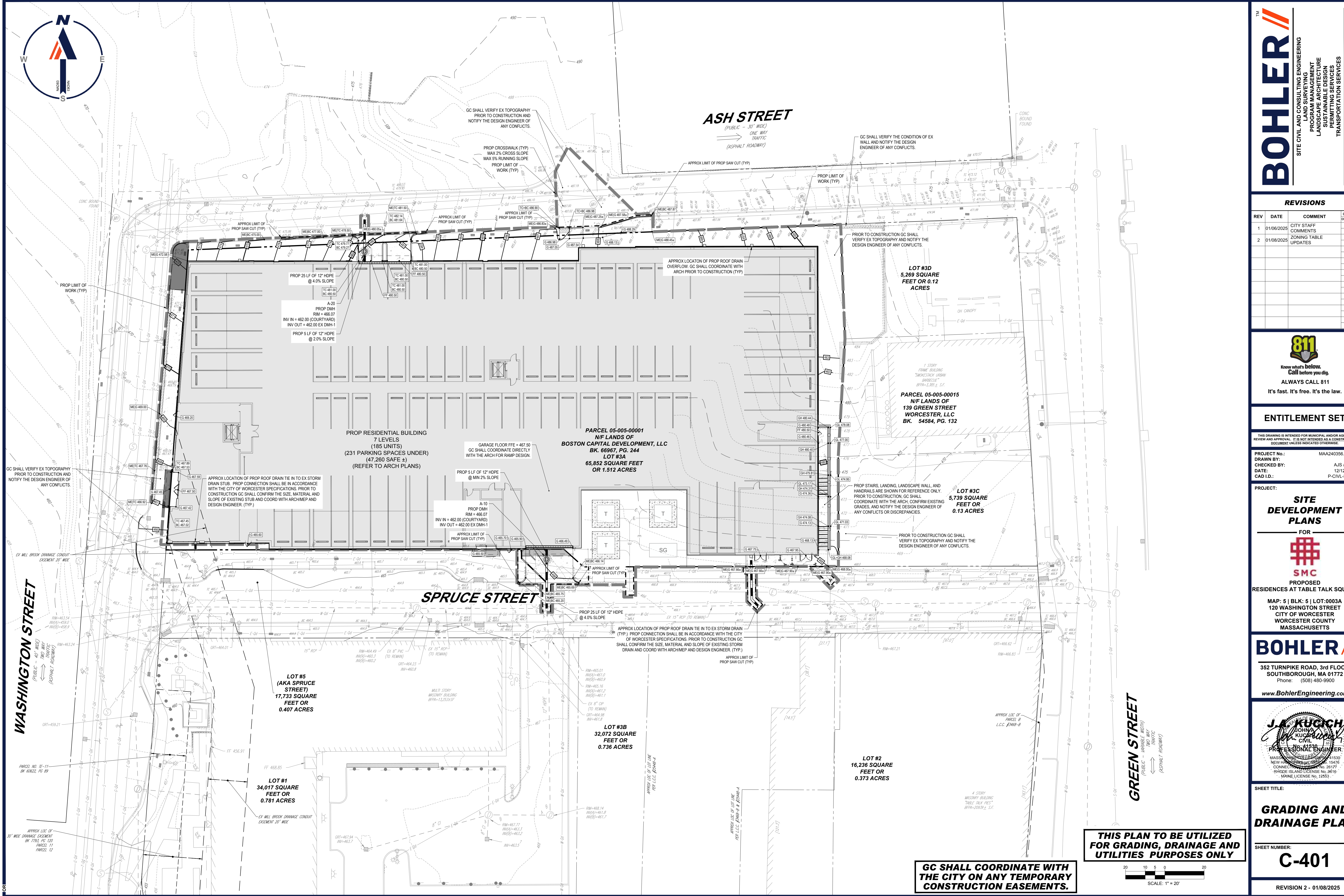
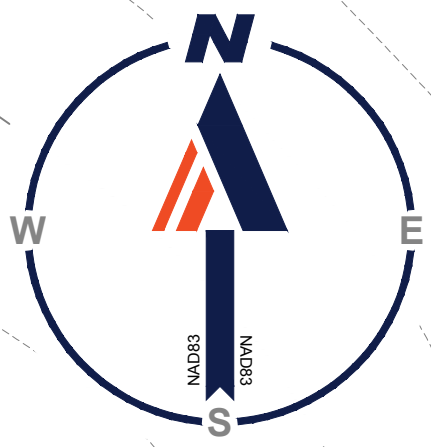
REVISION 2 - 01/08/2025

**PROP. IRRIGATION LINES SHALL BE LOCATED ON THE PROPERTY EXCEPT WHERE EASEMENTS HAVE BEEN REQUESTED AND GRANTED FROM THE CITY OF WORCESTER.**

**CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY TO DETERMINE FINAL NUMBER AND LOCATION OF TRANSFORMERS, BOTH GROUND AND POLE MOUNTED.**

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**





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 LANDSCAPE ARCHITECTURE  
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 TRANSPORTATION SERVICES

**REVISIONS**

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PROJECT No.: MAA240356-00-1A  
 DRAWN BY: AJS / MMA  
 DATE: 12/12/2024  
 CAD ID: P-CIVIL-PROP

**SITE DEVELOPMENT PLANS**  
 FOR  
  
**SMC**  
 PROPOSED RESIDENCES AT TABLE TALK SQUARE

MAP: 5 | BLK: 5 | LOT: 0003A  
 120 WASHINGTON STREET  
 CITY OF WORCESTER  
 WORCESTER COUNTY  
 MASSACHUSETTS

**BOHLER**  
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**J.A. KUCICH**  
 CIVIL ENGINEER  
 PROFESSIONAL SEAL  
 MASSACHUSETTS REG. NO. 11630  
 NEW HAVEN, CT REG. NO. 15476  
 CONNECTICUT REG. NO. 20177  
 RHODE ISLAND REG. NO. 3016  
 MAINE LICENSE NO. 12553

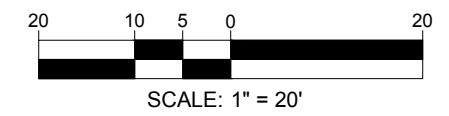
SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**

SHEET NUMBER:  
**C-401**

REVISION 2 - 01/08/2025

**GC SHALL COORDINATE WITH THE CITY ON ANY TEMPORARY CONSTRUCTION EASEMENTS.**

**THIS PLAN TO BE UTILIZED FOR GRADING, DRAINAGE AND UTILITIES PURPOSES ONLY**



I:\BOHLER\NET\SHARES\BMA\PROJECTS\2024\MAA240356-00\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BSP-CIVIL-PROP-MAA240356-00-1A-LAYOUT-C-401-ORDR



LEGEND	
PROPOSED	
UTILITY POLE	—●—
SANITARY LATERAL	—S—
SANITARY MAIN	—S—
WATER LINE	—W—
ELECTRIC LINE	—E—
GAS LINE	—G—
OVERHEAD WIRE	—O—
STORM SEWER	—SS—
HYDRANT	—H—
SANITARY MANHOLE	—SM—
STORM MANHOLE	—SM—
WATER VALVE	—V—
WATER METER	—WM—
GAS VALVE	—GV—
TYPICAL END SECTION	—E—
ENDWALL	—E—
GRATE INLET	—GI—
CURB INLET	—CI—
CLEANOUT	—CO—

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 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

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2	01/08/2025	ZONING TABLE UPDATES	OCR

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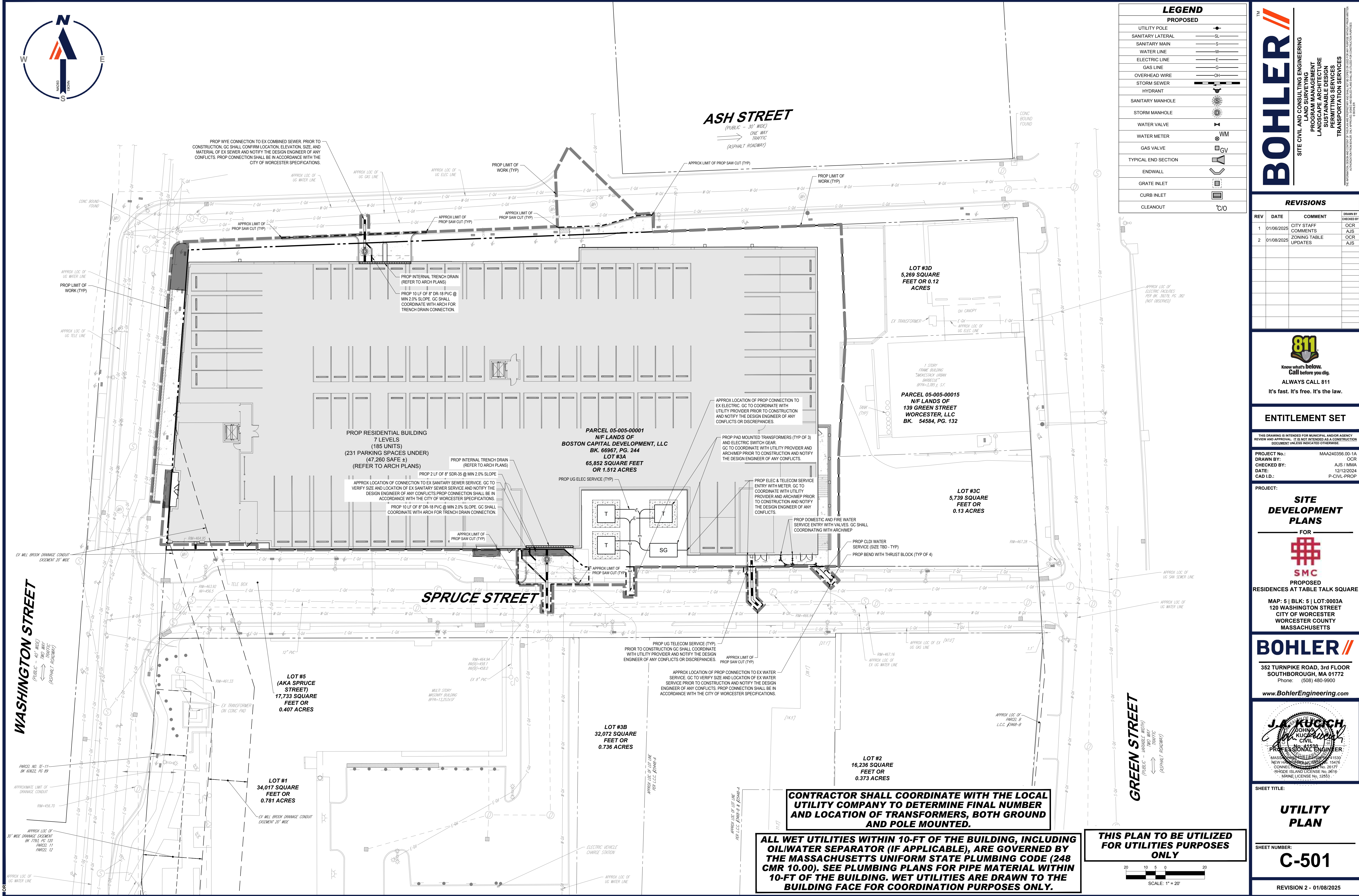
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 DRAWN BY: AJS / MMA  
 DATE: 12/12/2024  
 CAD LID: P-CIVIL-PROP

**SITE DEVELOPMENT PLANS**  
 FOR  
  
**SMC**  
 PROPOSED  
 RESIDENCES AT TABLE TALK SQUARE  
 MAP: 5 | BLK: 5 | LOT: 0003A  
 120 WASHINGTON STREET  
 CITY OF WORCESTER  
 WORCESTER COUNTY  
 MASSACHUSETTS

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**J.A. KUCICH**  
 CIVIL ENGINEER  
 PROFESSIONAL SEAL  
 MASSACHUSETTS LICENSE NO. 26197  
 MAINE LICENSE NO. 22553

SHEET TITLE:  
**UTILITY PLAN**  
 SHEET NUMBER:  
**C-501**  
 REVISION 2 - 01/08/2025



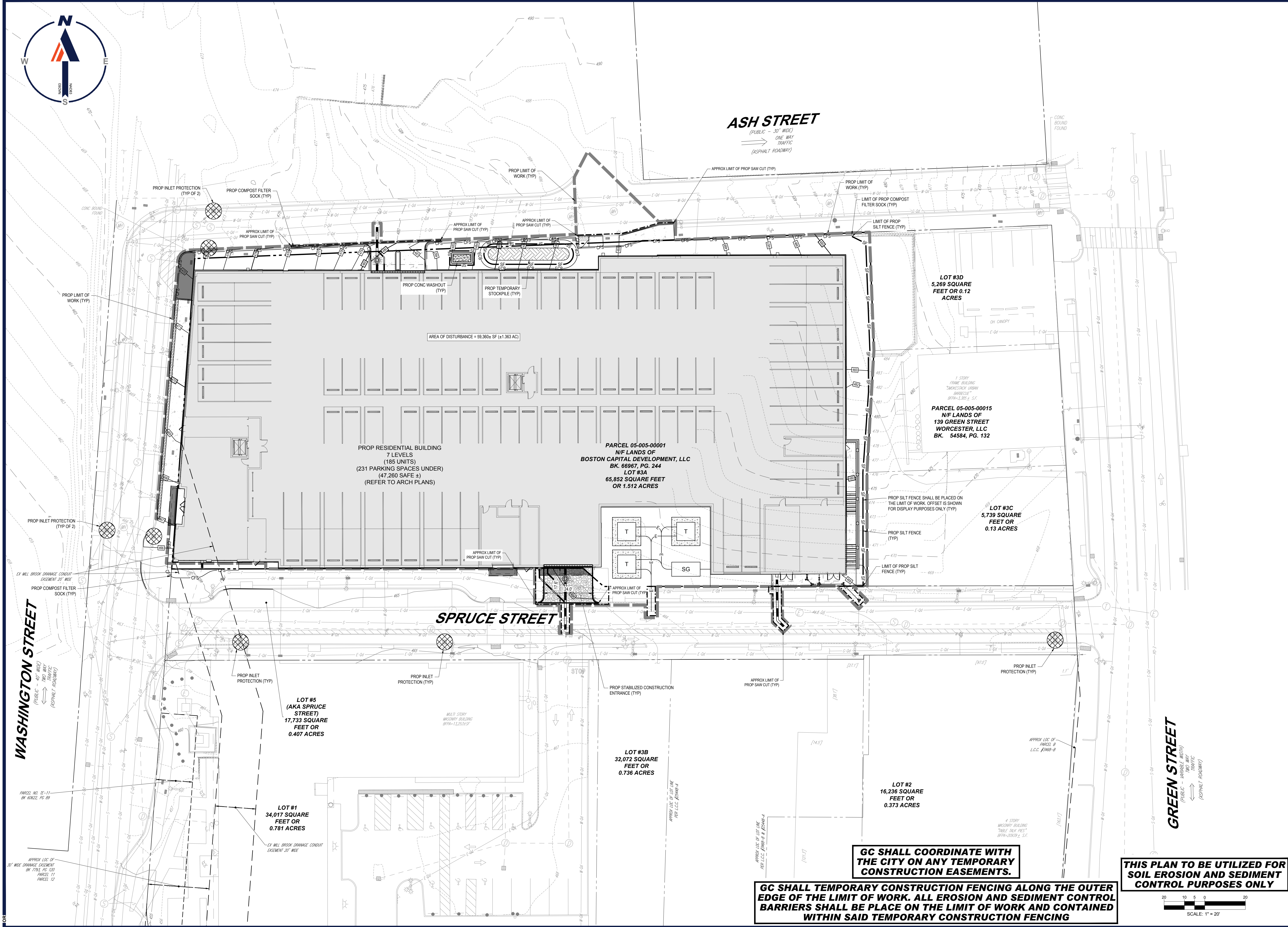
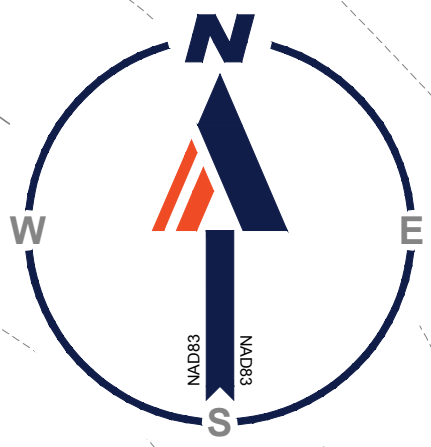
**CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY TO DETERMINE FINAL NUMBER AND LOCATION OF TRANSFORMERS, BOTH GROUND AND POLE MOUNTED.**

**ALL WET UTILITIES WITHIN 10-FT OF THE BUILDING, INCLUDING OIL/WATER SEPARATOR (IF APPLICABLE), ARE GOVERNED BY THE MASSACHUSETTS UNIFORM STATE PLUMBING CODE (248 CMR 10.00). SEE PLUMBING PLANS FOR PIPE MATERIAL WITHIN 10-FT OF THE BUILDING. WET UTILITIES ARE DRAWN TO THE BUILDING FACE FOR COORDINATION PURPOSES ONLY.**

**THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY**

SCALE: 1" = 20'

BOHLER ENGINEERING, INC. PROJECT NO. MAA240356-00-1A - LAYOUT C-501 UTIL



**ASH STREET**  
 (PUBLIC - 30' WIDE)  
 ONE WAY TRAFFIC  
 (ASPHALT ROADWAY)

**SPRUCE STREET**

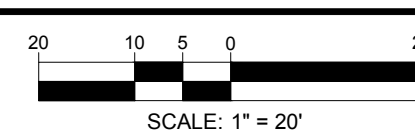
**WASHINGTON STREET**  
 (PUBLIC - 40' WIDE)  
 ONE WAY TRAFFIC  
 (ASPHALT ROADWAY)

**GREEN STREET**  
 (PUBLIC - 40' WIDE)  
 ONE WAY TRAFFIC  
 (ASPHALT ROADWAY)

**GC SHALL COORDINATE WITH THE CITY ON ANY TEMPORARY CONSTRUCTION EASEMENTS.**

**GC SHALL TEMPORARY CONSTRUCTION FENCING ALONG THE OUTER EDGE OF THE LIMIT OF WORK. ALL EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACE ON THE LIMIT OF WORK AND CONTAINED WITHIN SAID TEMPORARY CONSTRUCTION FENCING**

**THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY**



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**J.A. KUCICH**  
 CIVIL ENGINEER  
 PROFESSIONAL SEAL  
 MAINE LICENSE No. 26177  
 MAINE LICENSE No. 22553

SHEET TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
 SHEET NUMBER:  
**C-801**  
 REVISION 2 - 01/08/2025

BOHLER ENGINEERING, INC. PROJECT: 2024-0003A-MAA240356-00-1A-LAYOUT C-801 EROSION CONTROL



## MASSACHUSETTS EROSION AND SEDIMENT CONTROL NOTES

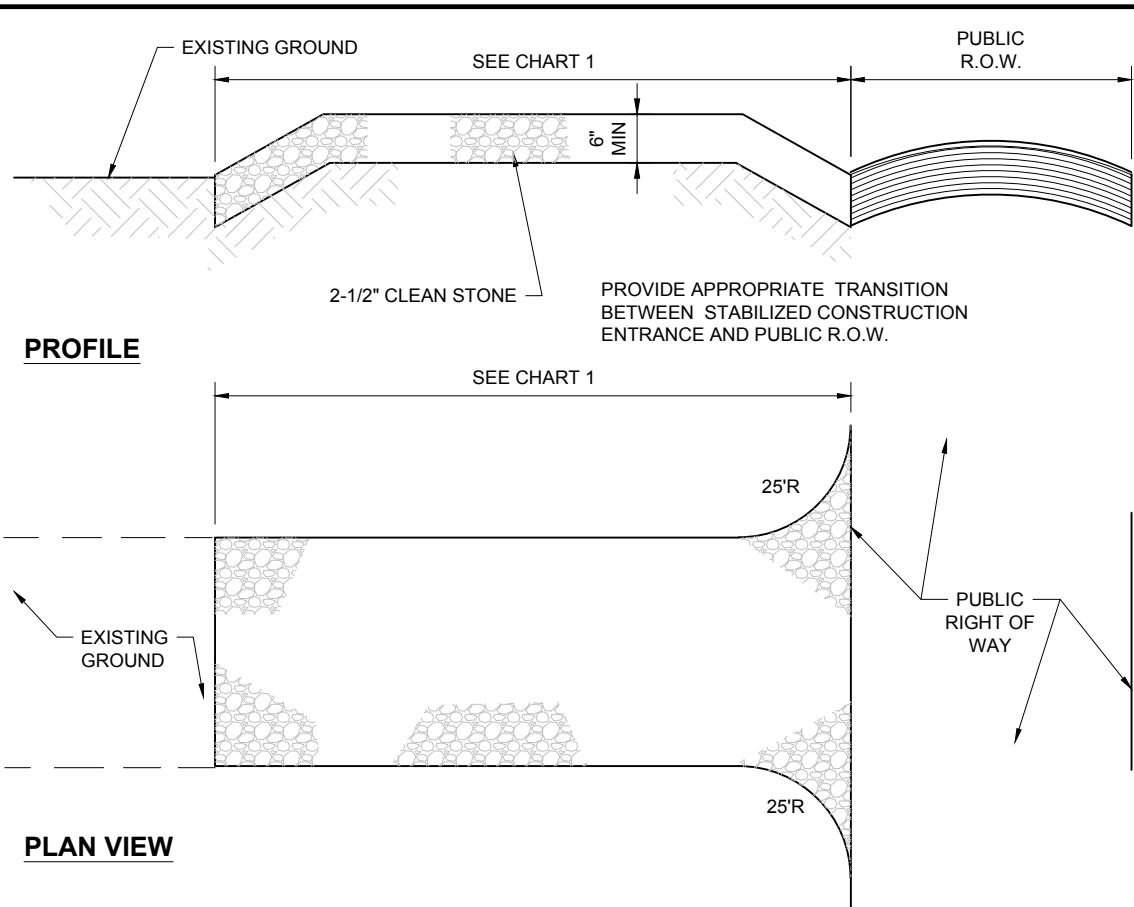
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND LAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING EROSION.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMEFLOTTED AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOIL ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

- \* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.
  - \* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK), MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE), CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS), USE OF A SERRATED STRAIGHT DISK WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.
- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  - TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL MANUAL, SUBURBAN AREAS AND PROVIDE A MINIMUM OF 1,000 CF OF STORAGE CAPACITY FOR EACH TRAP. TRAPS SHALL BE MAINTAINED WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
  - STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
  - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
  - THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
  - THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
  - EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
    - WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15
    - WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
    - CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
    - AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
    - FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEED. AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
    - MULCHING REQUIREMENTS
      - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
      - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
      - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%, AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
    - ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
    - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

## GENERAL EROSION AND SEDIMENT CONTROL NOTES

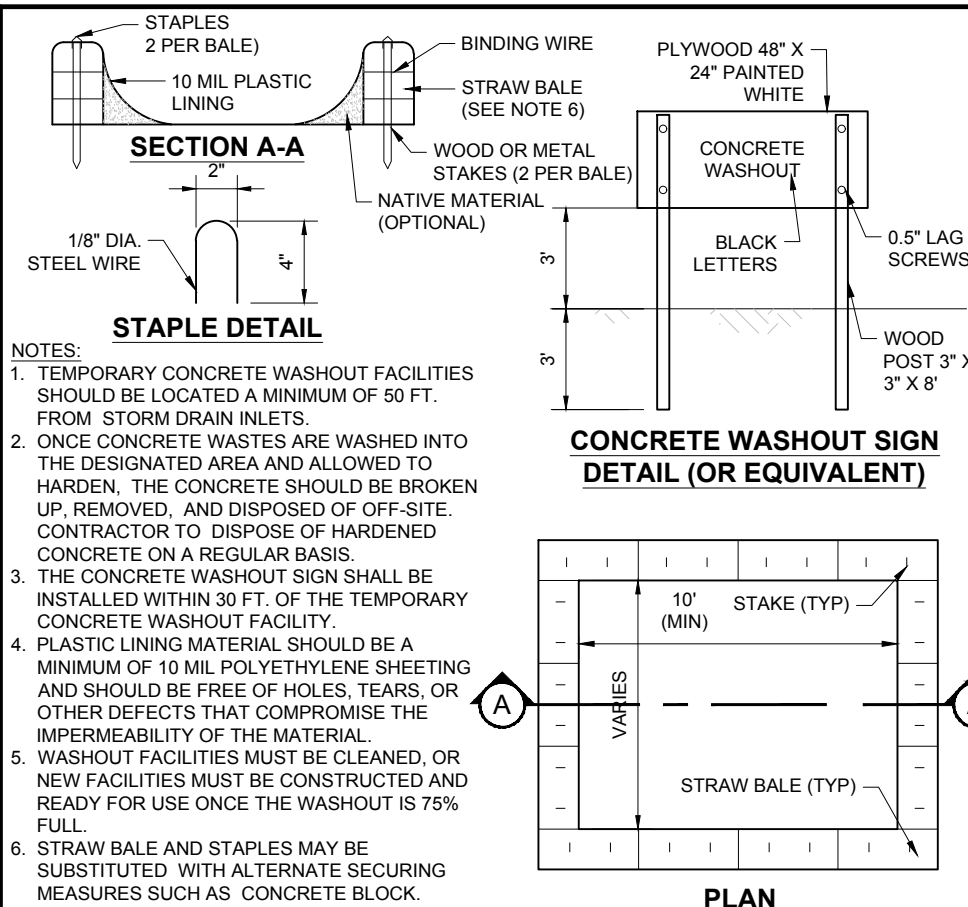
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 1.363 ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
  - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES.
  - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
  - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
  - THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
  - THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS, WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
  - THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
  - THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
  - THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
  - THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
  - THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
  - THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
  - THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
  - THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
  - SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
  - THE CONTRACTOR MUST IDENTIFY ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



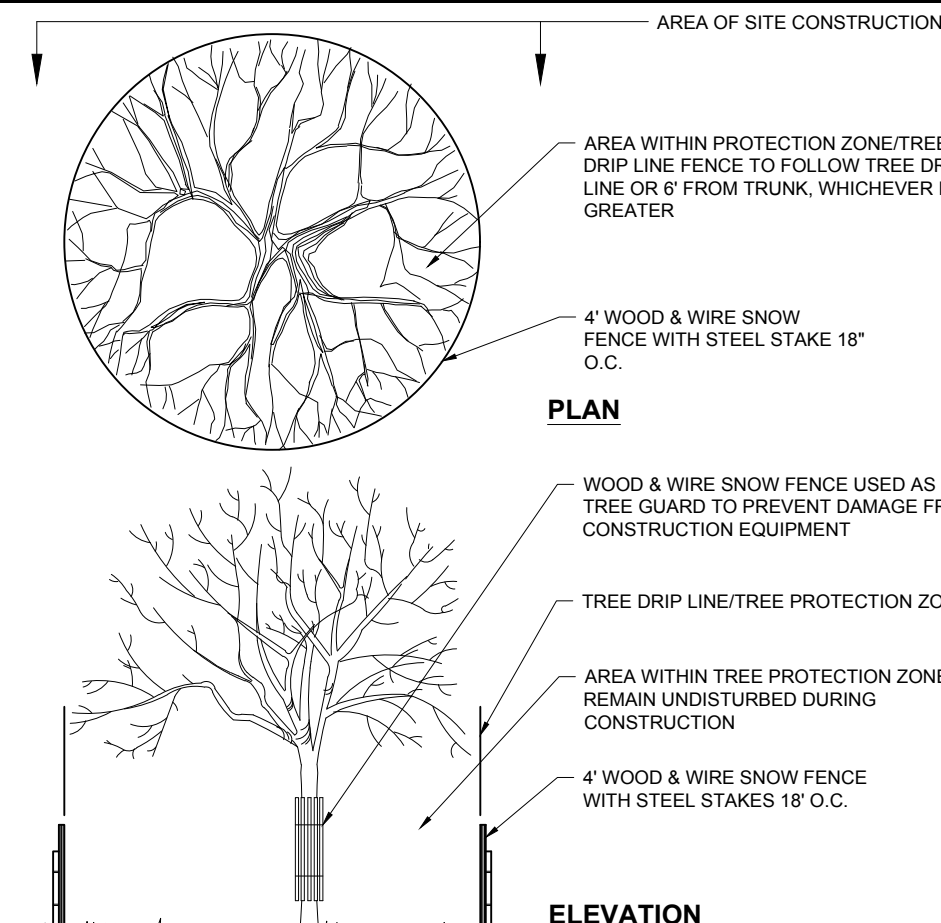
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	COARSE GRAINED SOILS 50 FT
2% TO 5%	FINE GRAINED SOILS 100 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABRIC BASE COURSE (1)

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

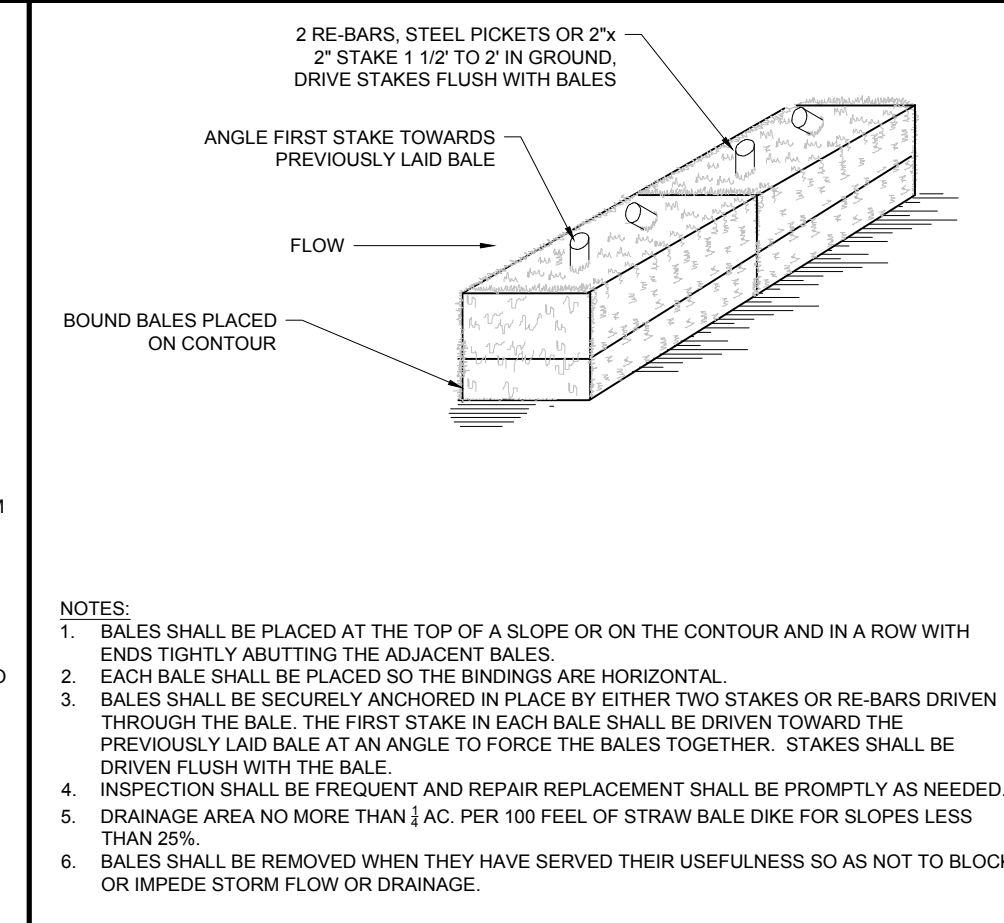
**CHART 1**



## STABILIZED CONSTRUCTION ENTRANCE

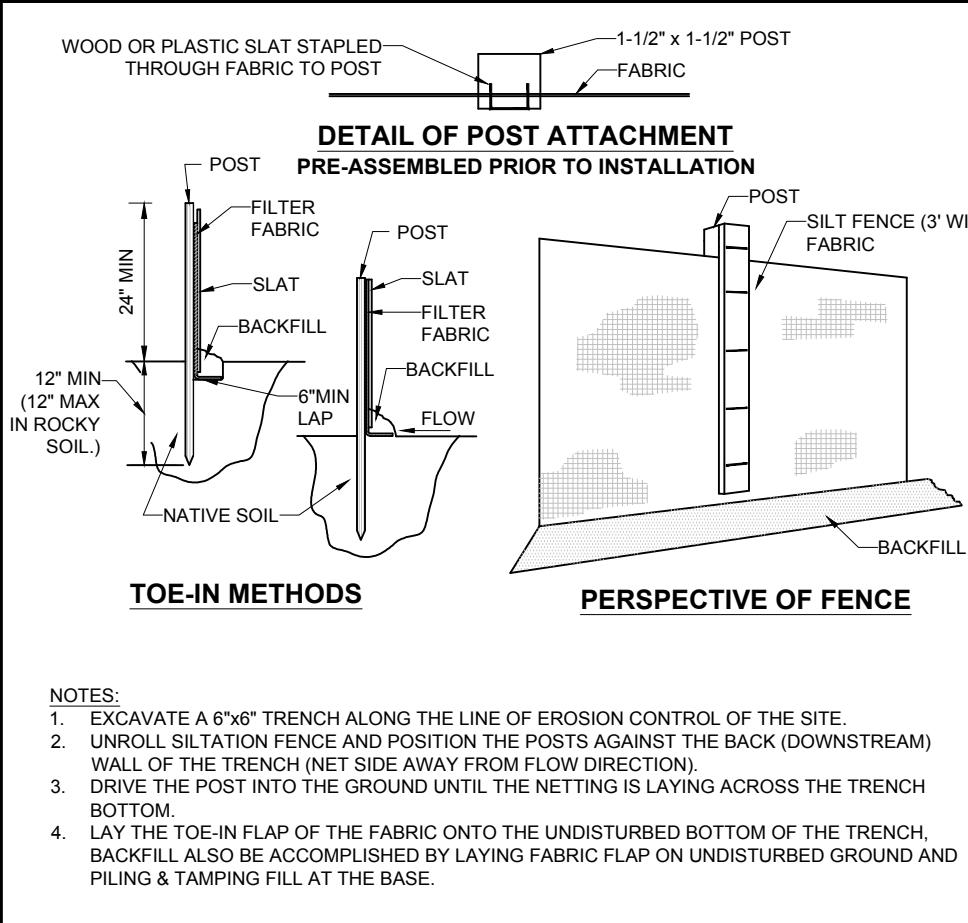


## TREE PROTECTION DURING SITE CONSTRUCTION

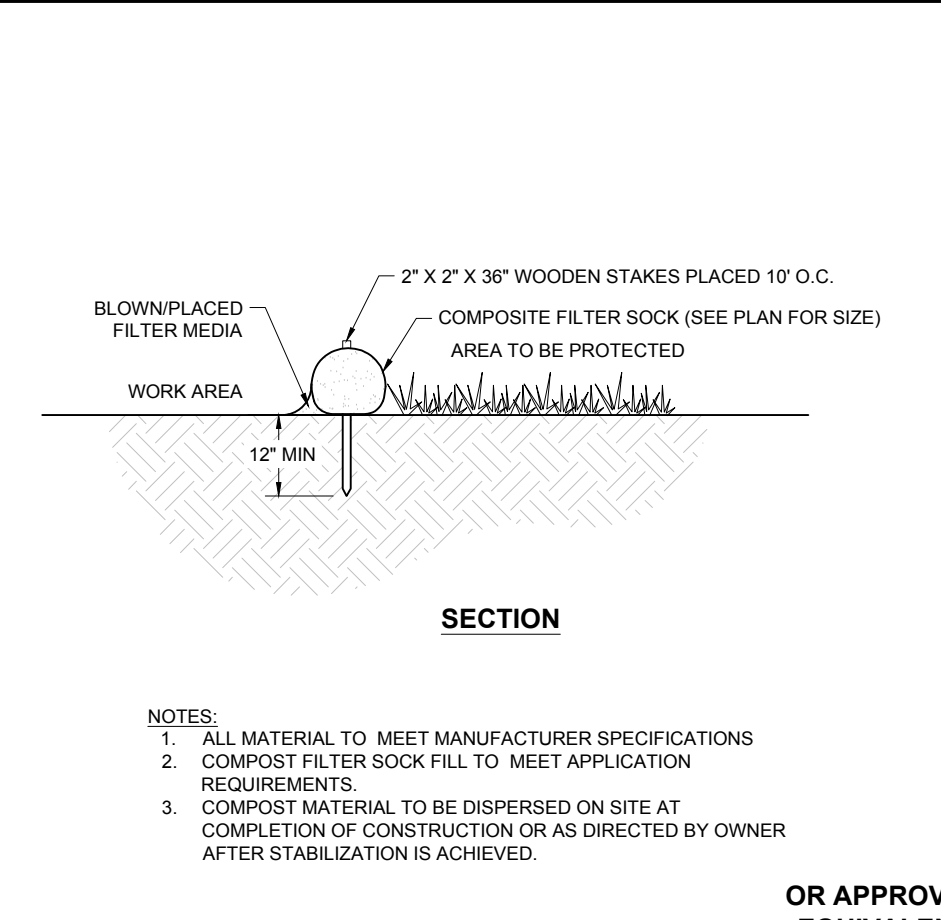


## STRAW BALE BARRIER

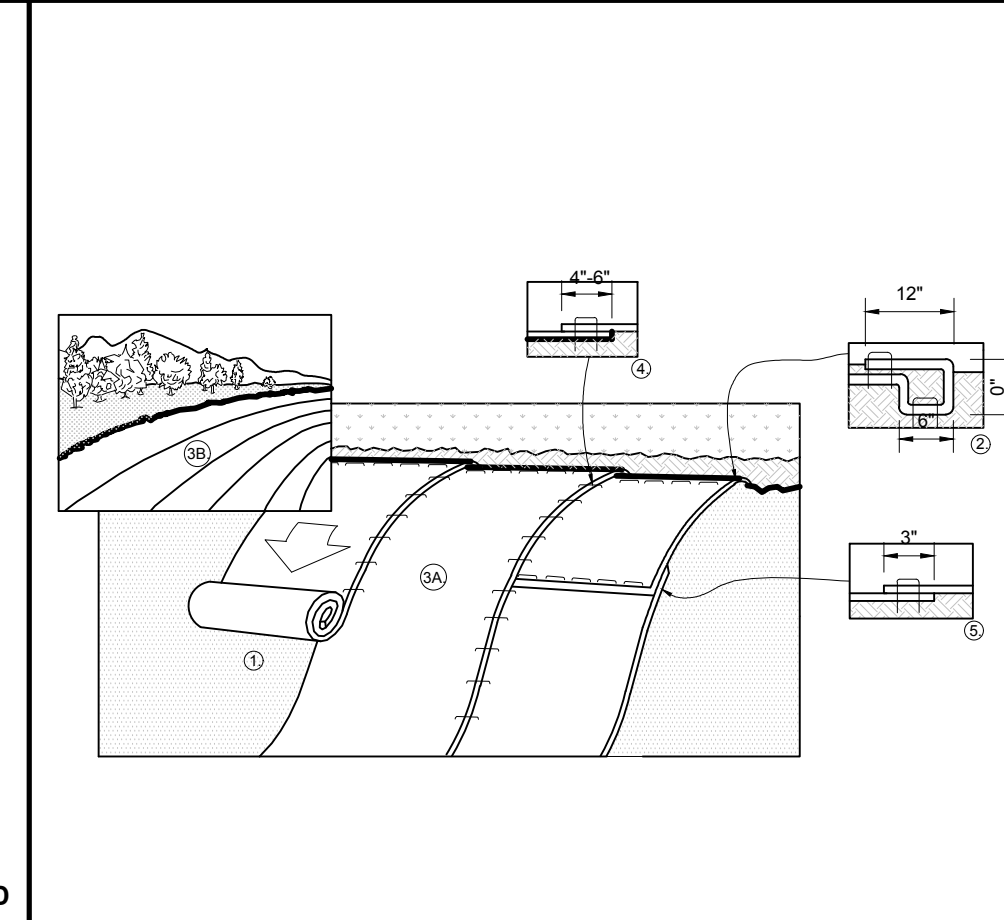
## CONCRETE WASTE MANAGEMENT AREA



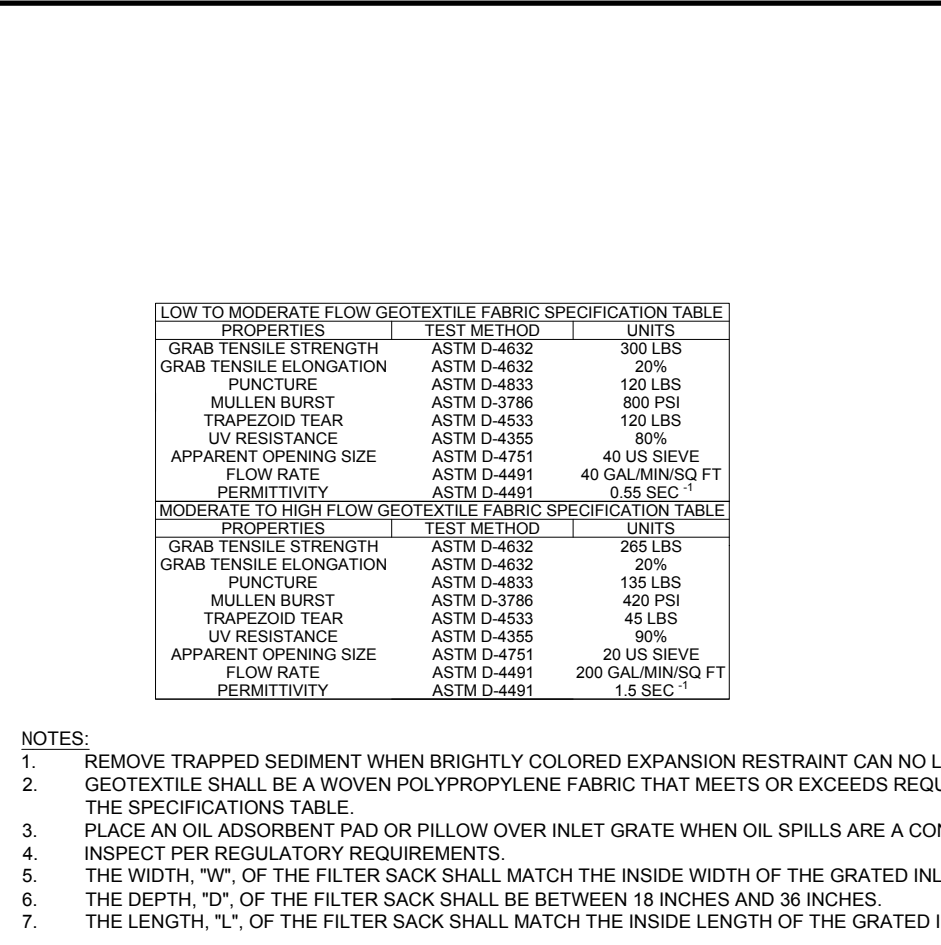
## SILT FENCE



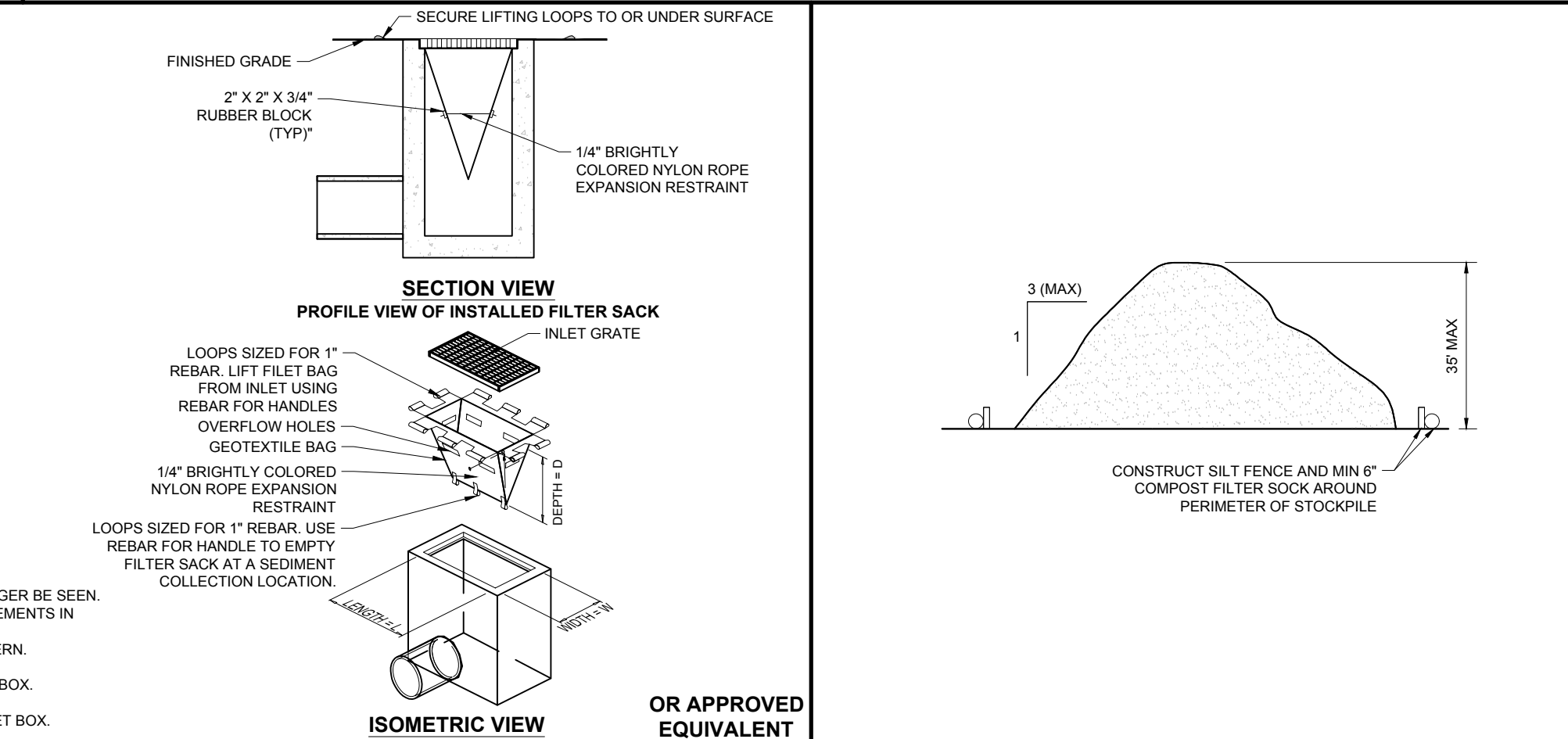
## COMPOST FILTER SOCK



## EROSION CONTROL BLANKET STEEP SLOPE PROTECTION



## INLET PROTECTION WITH MANUFACTURED INSERT



## TEMPORARY STOCK PILE WITH SILT FENCE AND FILTER SOCK

BOHLER ENGINEERING INC. PROJECT: 2024-02-26 MAZ403556-00-1A-LAYOUT: C-803 EROSION

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	CITY/STATE	CHECKED BY
1	01/06/2025	CITY COMMENTS	MAZ	AJS
2	01/08/2025	UPDATES	MAZ	AJS

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## ENTITLEMENT SET

PROJECT No.: MAZ403556-00-1A  
DRAWN BY: AJS / MMA  
CHECKED BY: AJS / MMA  
DATE: 02/26/25  
CAD ID: P-CIVL-CNDS

**SITE DEVELOPMENT PLANS**

FOR

**SMC**

PROPOSED  
RESIDENCES AT TABLE TALK SQUARE

MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**BOHLER**

352 TURNPIKE ROAD, 3rd FLOOR  
SOUTHBOROUGH, MA 01772  
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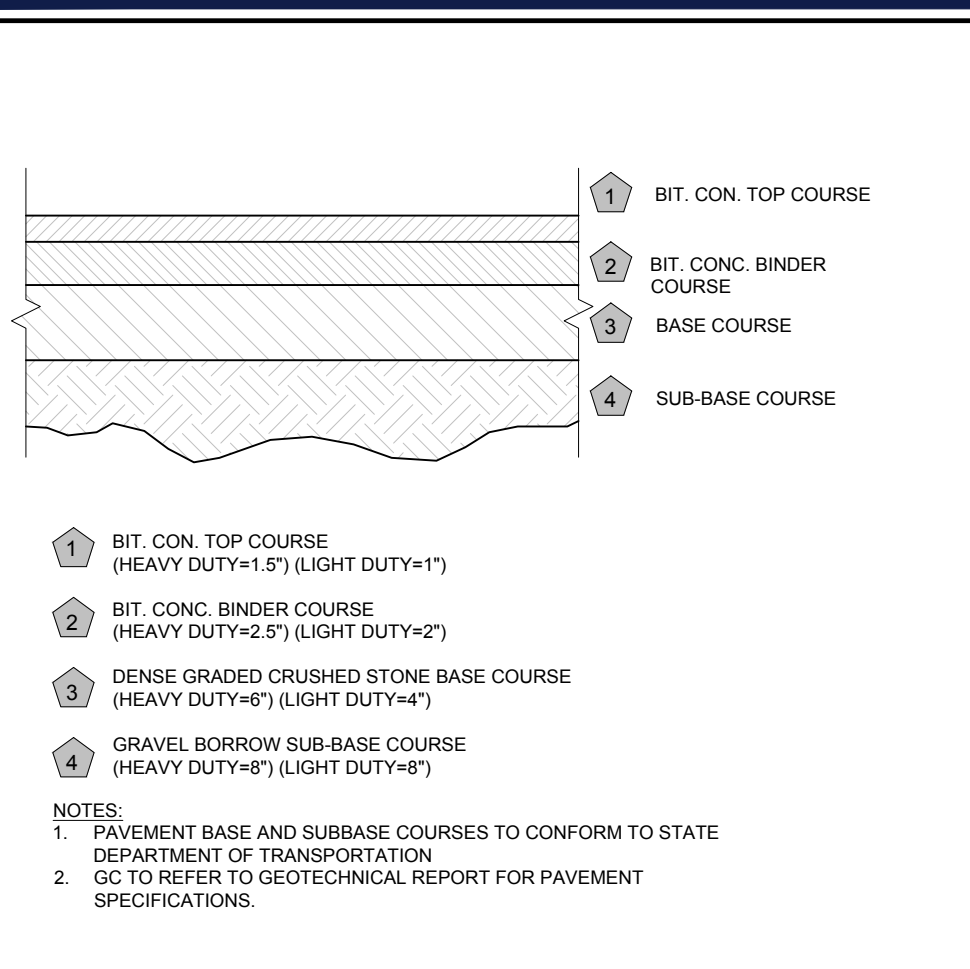
**J.A. KUZICH**

PROFESSIONAL ENGINEER  
MASSACHUSETTS REG. NO. 11533  
NEW HAVEN, CT REG. NO. 15476  
CONNECTICUT REG. NO. 20177  
PHYSICIAN LICENSE No. 2616  
MAINE LICENSE No. 12553

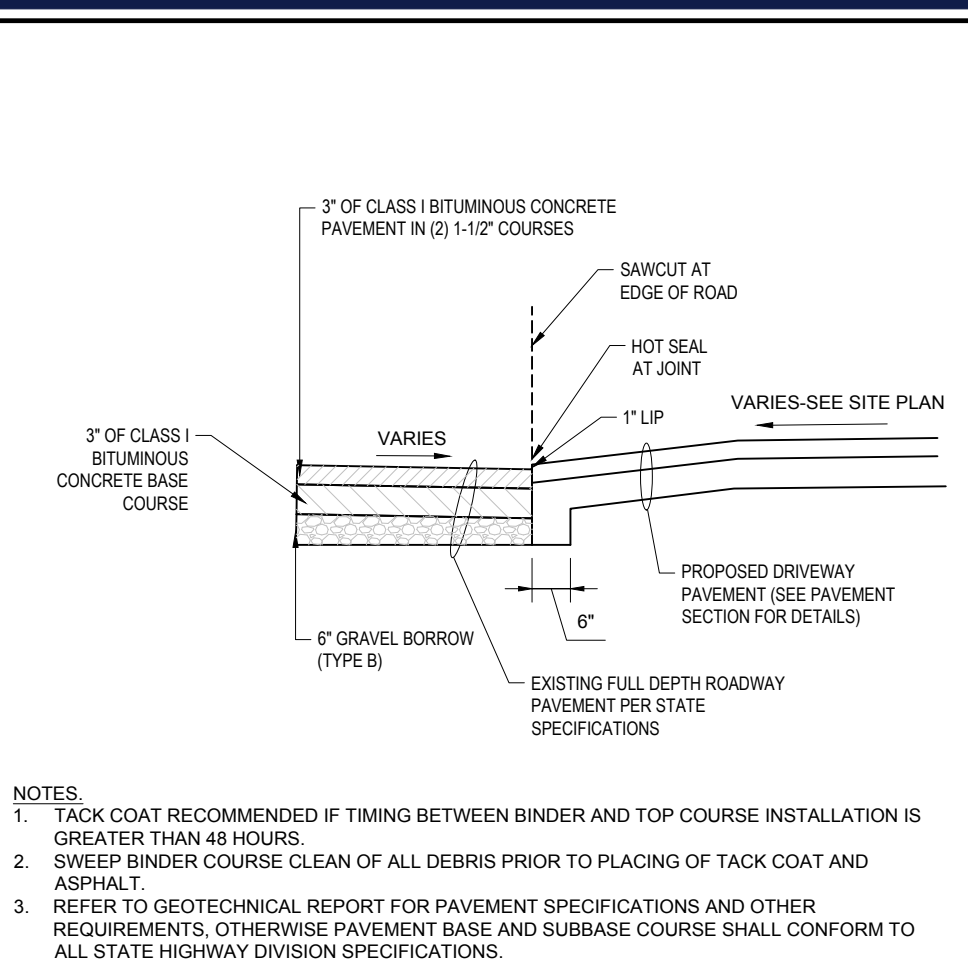
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**EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

SHEET NUMBER:  
**C-803**

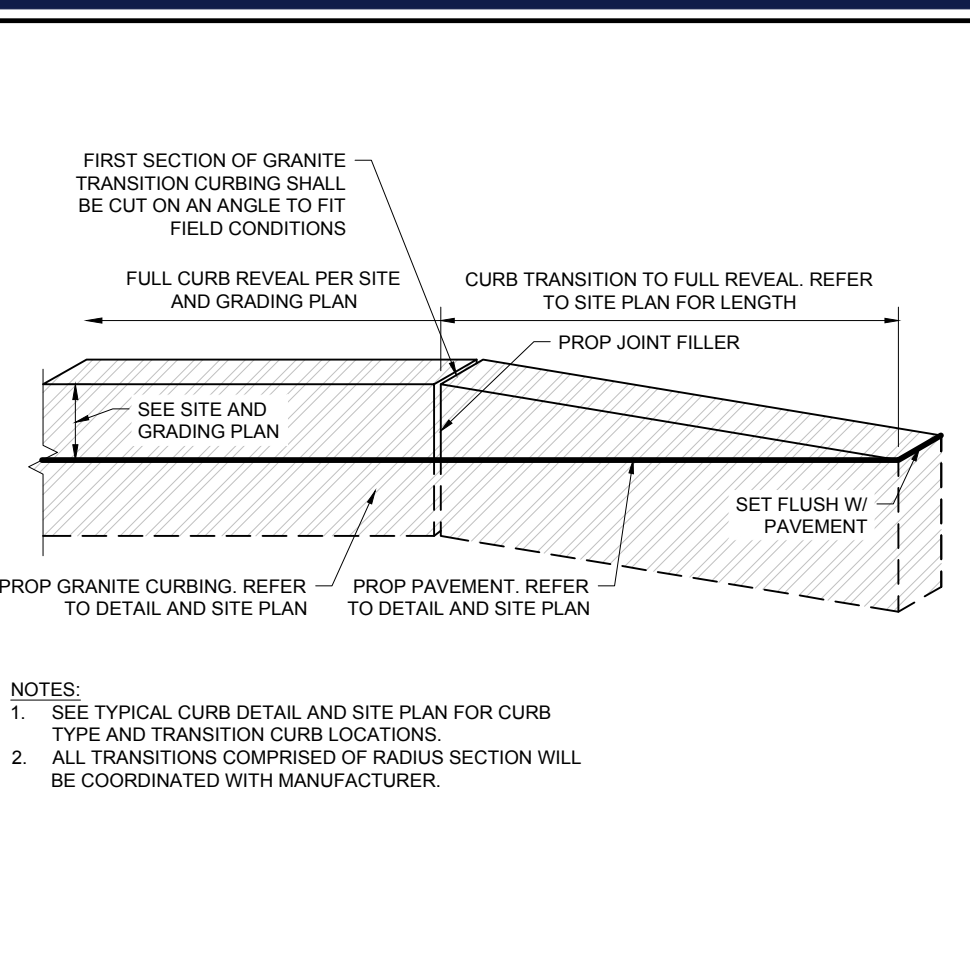
REVISION 2 - 01/08/2025



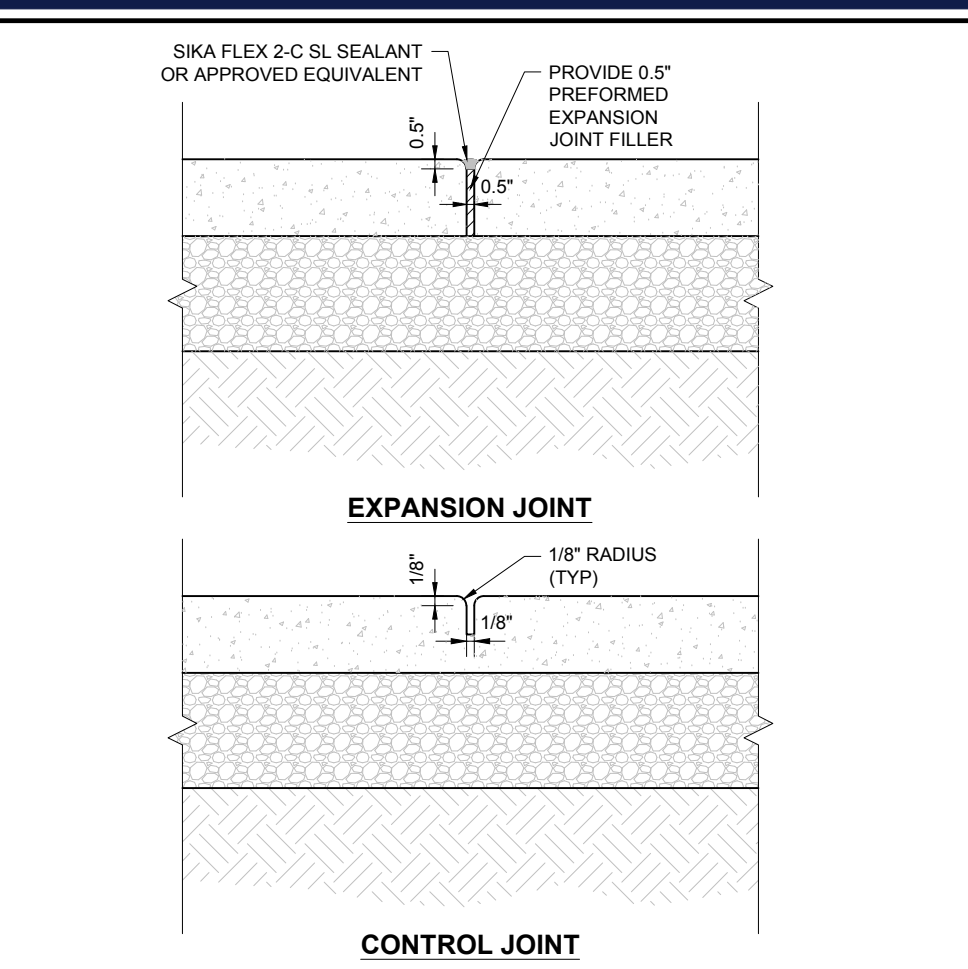
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NOT TO SCALE (NE-S010101 - 09/2024)



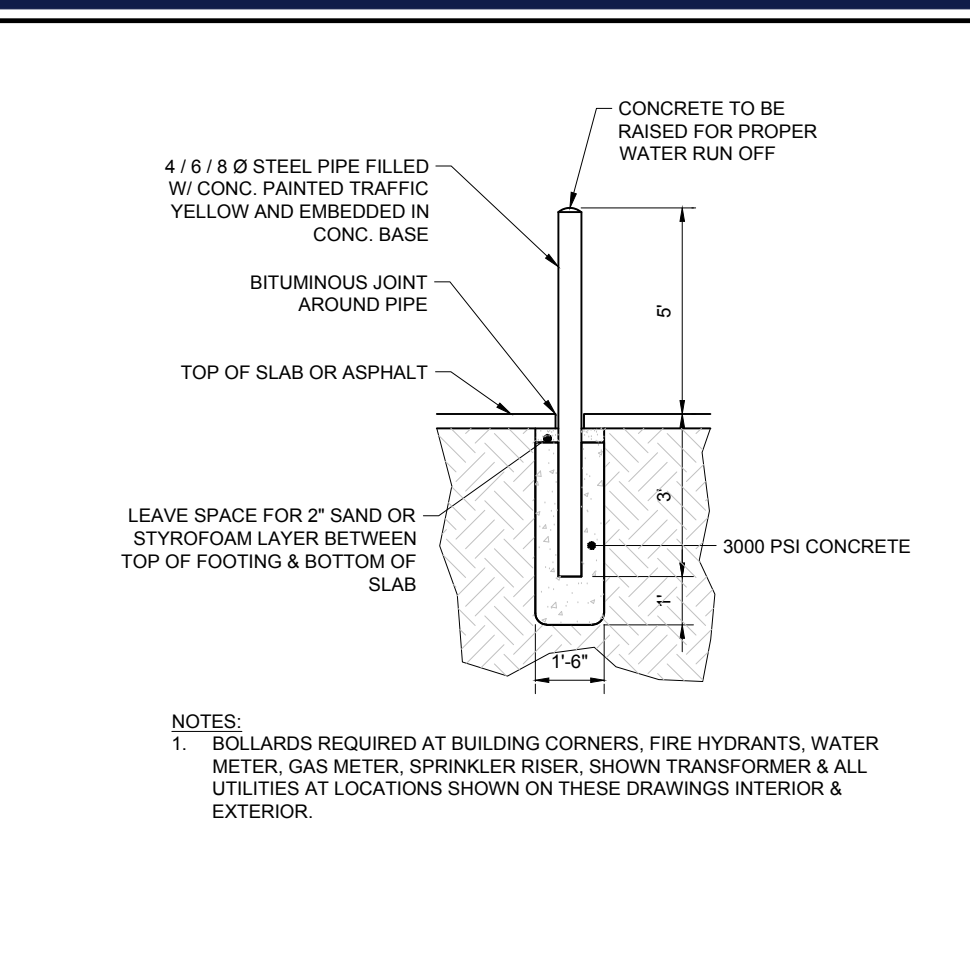
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NOT TO SCALE (NE-S040101 - 09/2023)



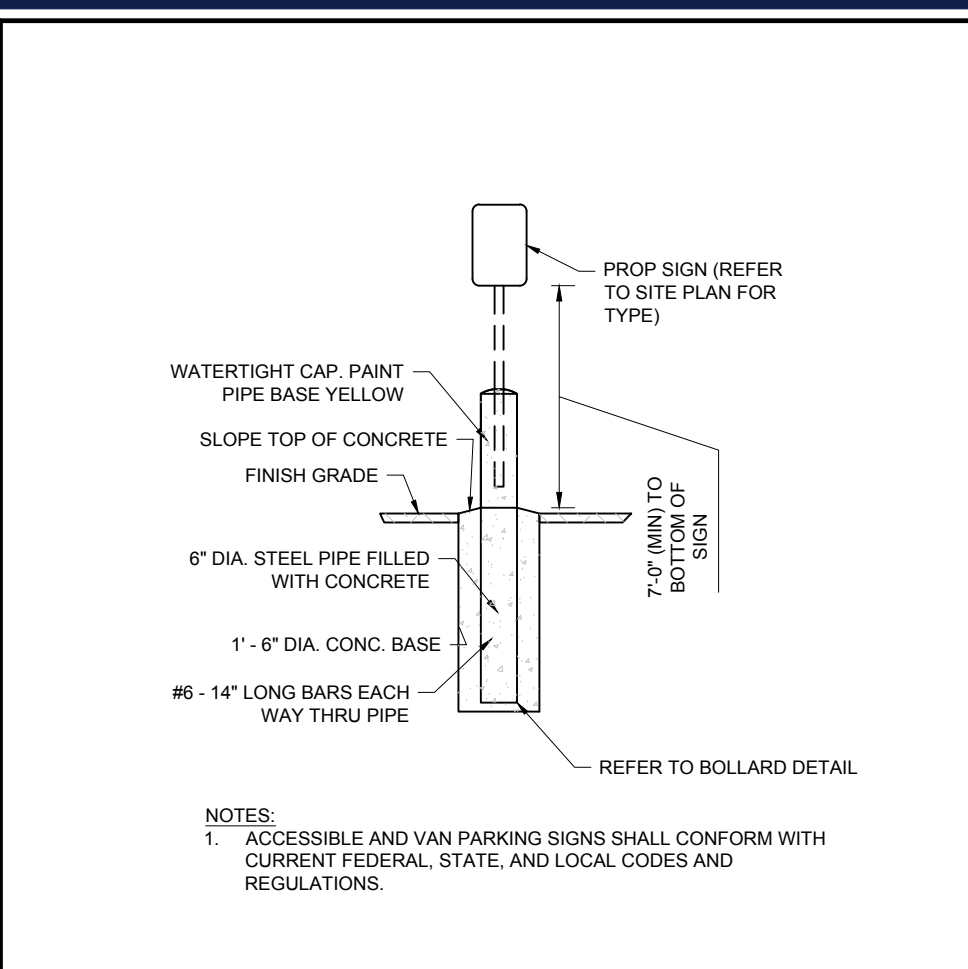
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NOT TO SCALE (NE-S020303 - 08/2024)



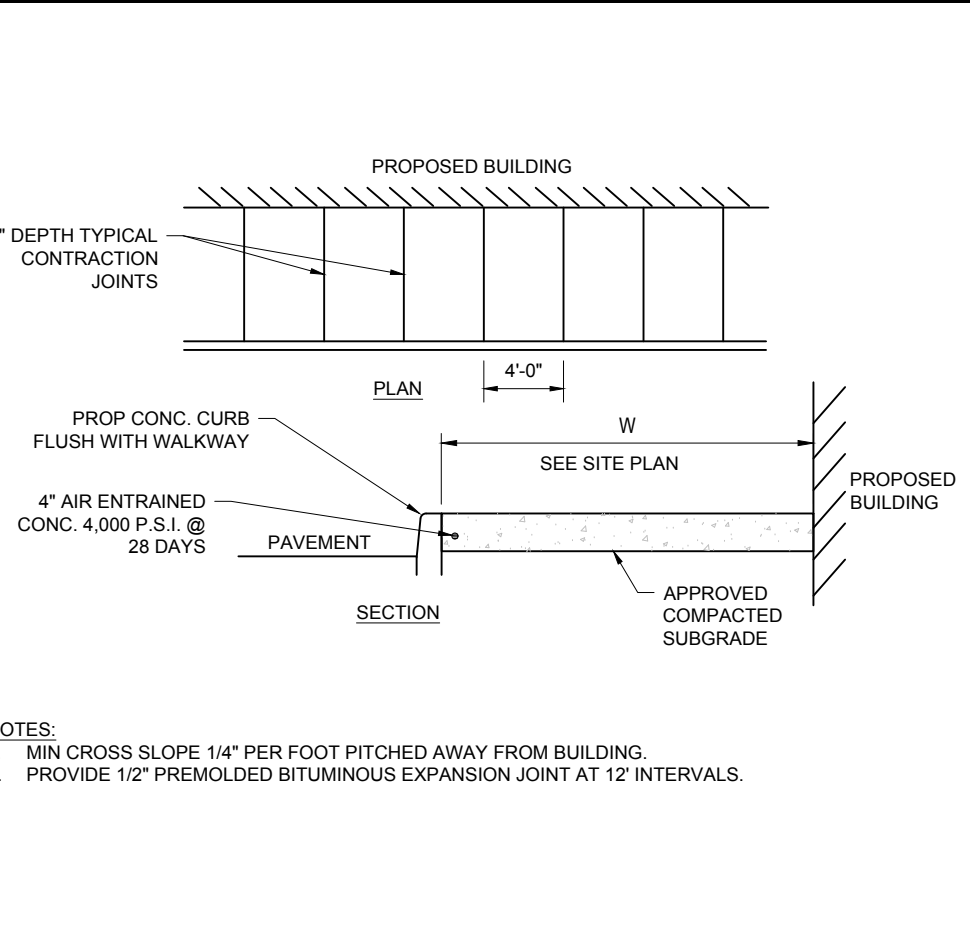
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NOT TO SCALE (BE-S030401 - 08/2023)



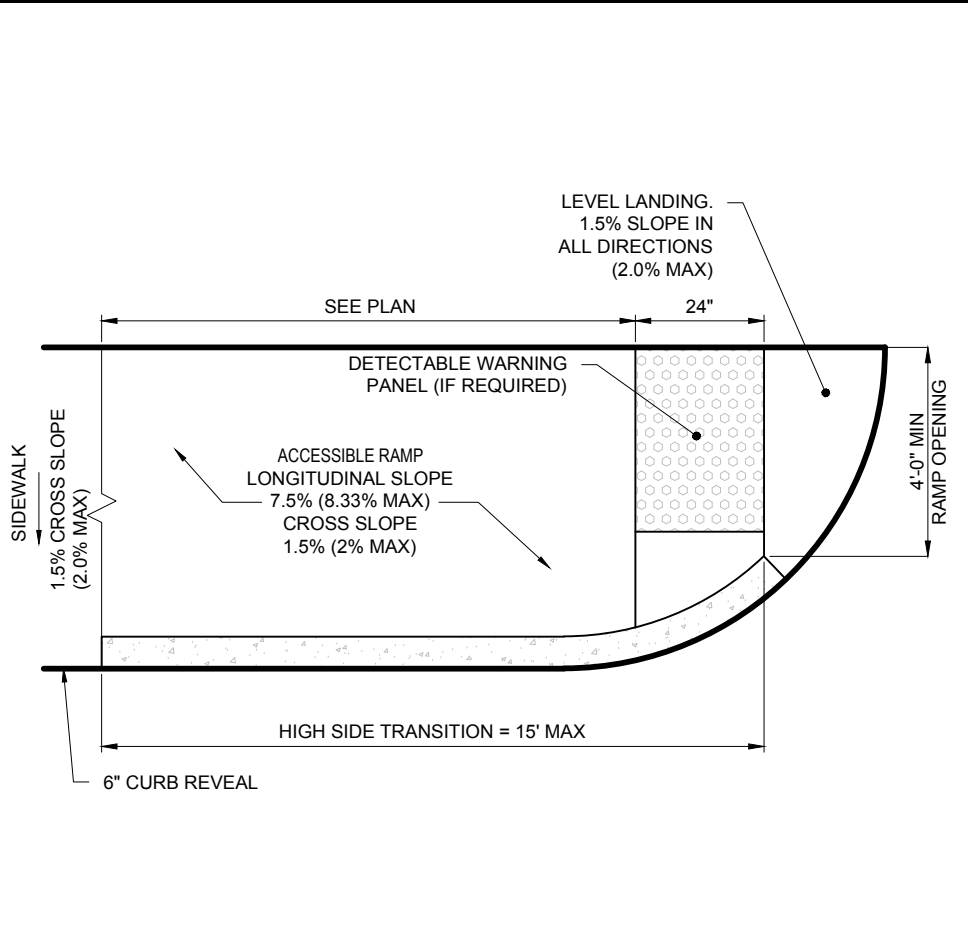
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NOT TO SCALE (NE-S070101 - 09/2023)



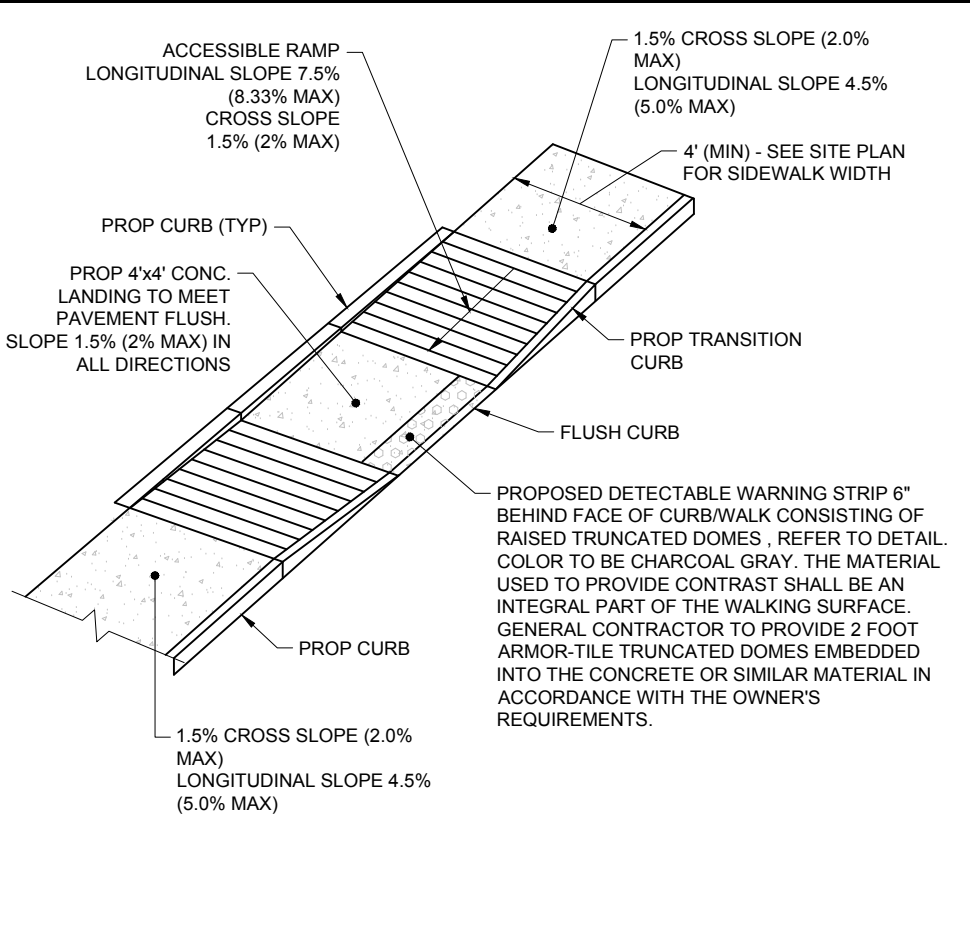
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NOT TO SCALE (NE-S060201 - 09/2023)



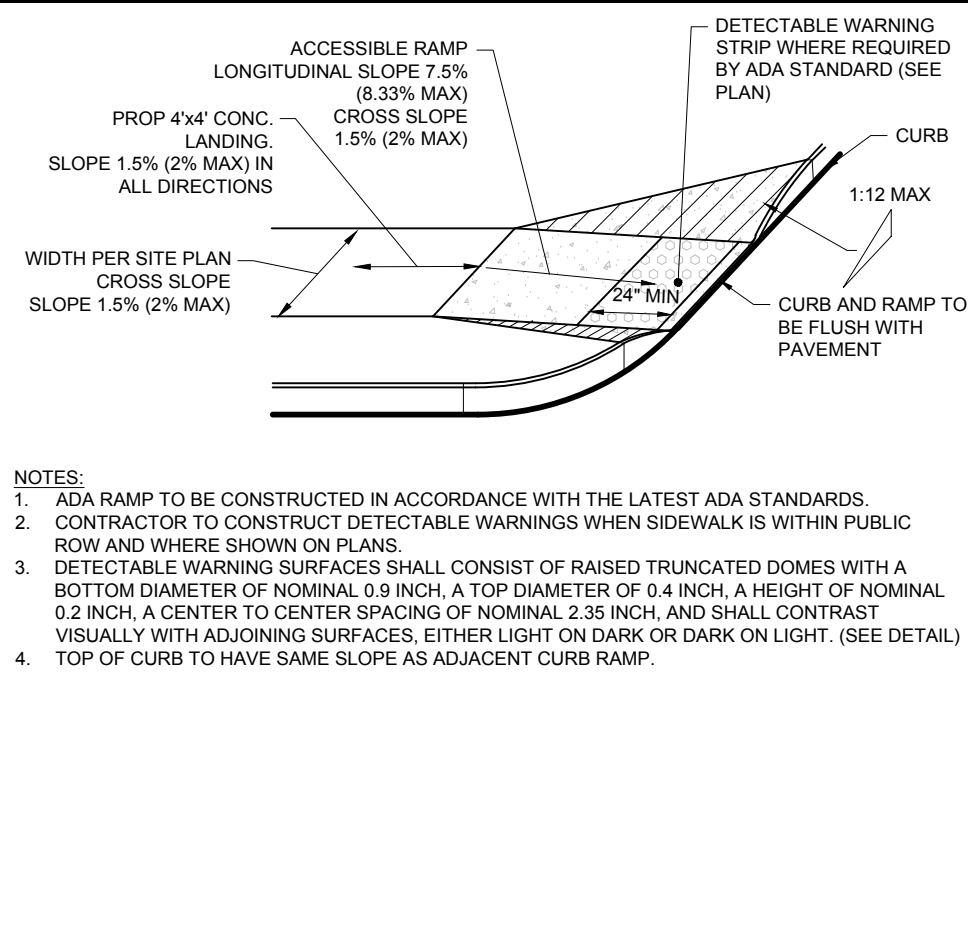
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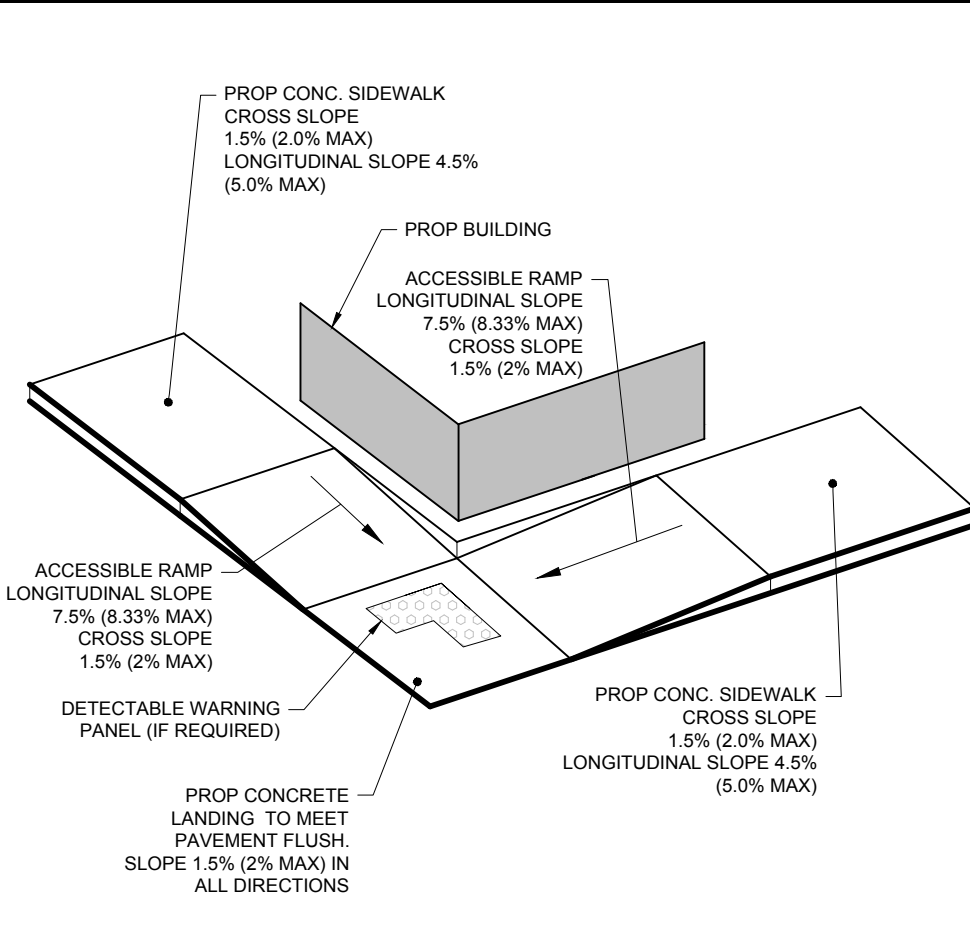
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**ACCESSIBLE RAMP TYPE B**  
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**ACCESSIBLE RAMP TYPE C**  
NOT TO SCALE (NE-S030206 - 09/2023)



**ACCESSIBLE RAMP TYPE D**  
NOT TO SCALE (NE-S030207 - 09/2023)

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TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/06/2025	CITY STAFF COMMENTS	OCR	AJS
2	01/08/2025	ZONING TABLE UPDATES	OCR	AJS

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PROJECT No.: MAA240356 00-1A  
DRAWN BY: OCR  
CHECKED BY: AJS / MMA  
DATE: 12/12/2024  
CAD ID: P-CIVL-CNDS

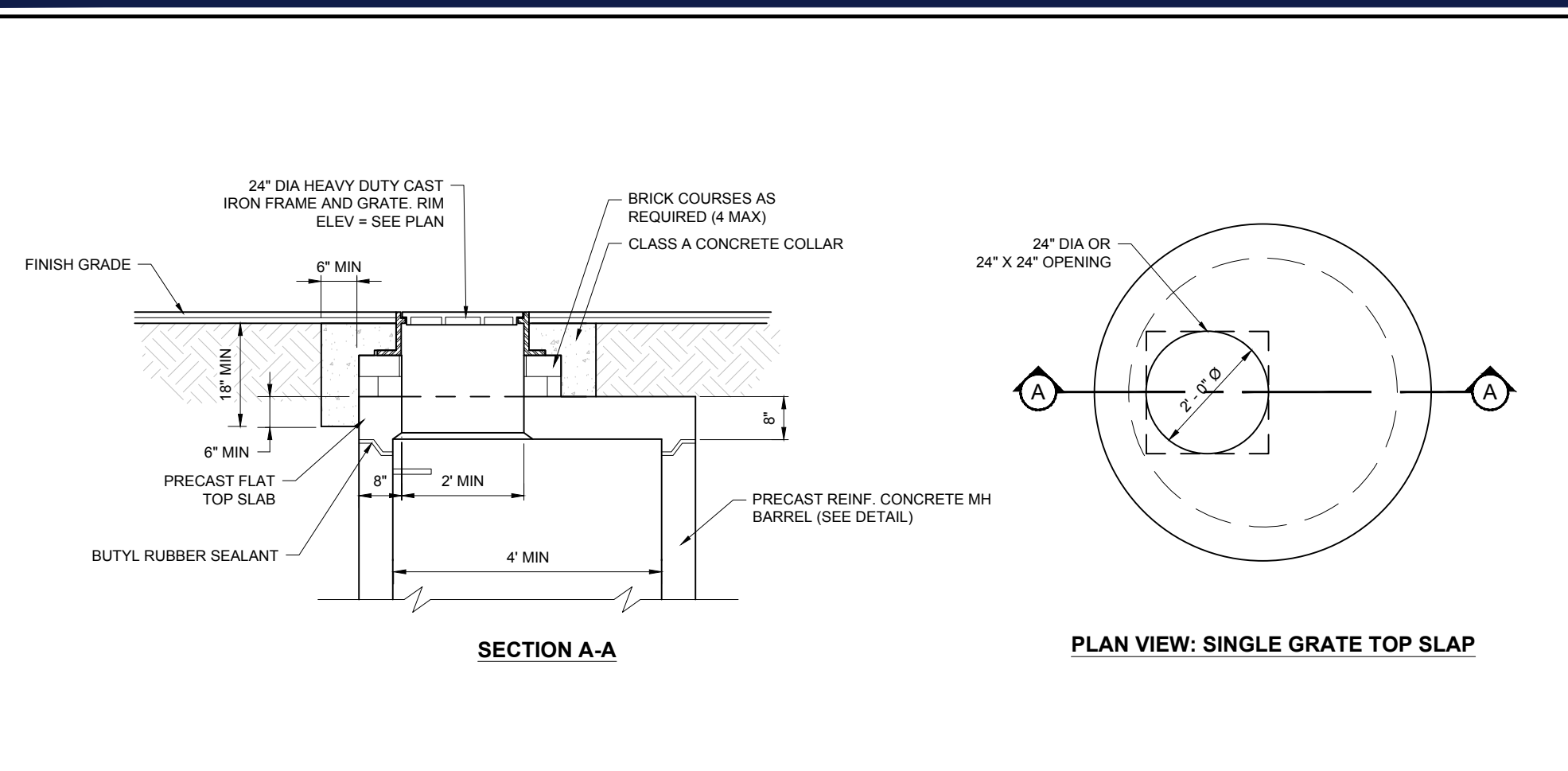
**SITE DEVELOPMENT PLANS**  
FOR  
**SMC**  
PROPOSED  
RESIDENCES AT TABLE TALK SQUARE  
MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

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NEW HAMPSHIRE LICENSE No. 15476  
CONNECTICUT LICENSE No. 26177  
RHODE ISLAND LICENSE No. 3616  
MAINE LICENSE No. 22553

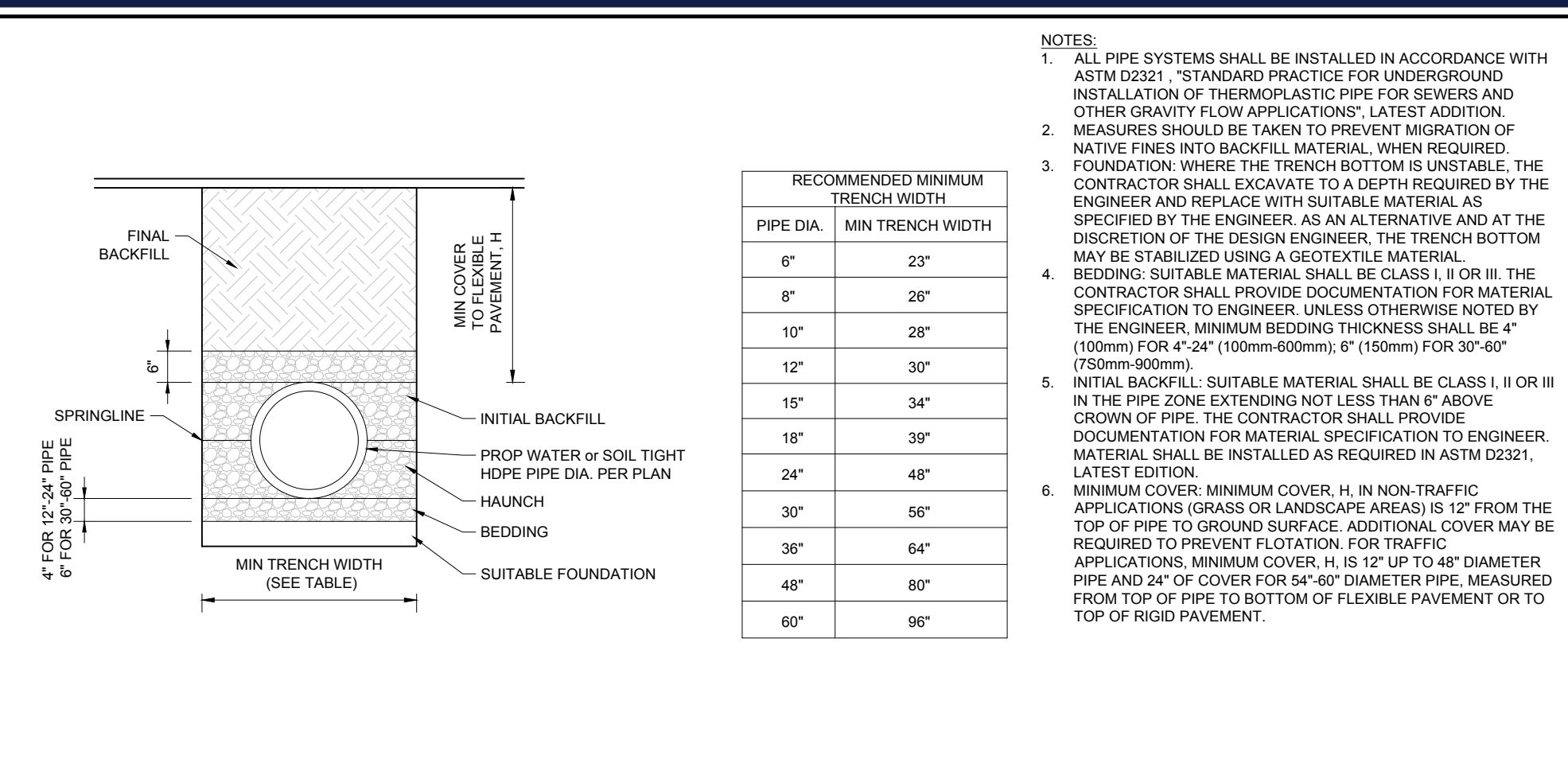
SHEET TITLE:  
**CONSTRUCTION DETAILS**  
SHEET NUMBER:  
**C-901**  
REVISION 2 - 01/08/2025

I:\BOHLER\NET\SHARES\MAA\PROJECTS\2024\MAA240356\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVIL\_CNDS\MAA240356\_00-1A-LAYOUT\_C-901.BETL



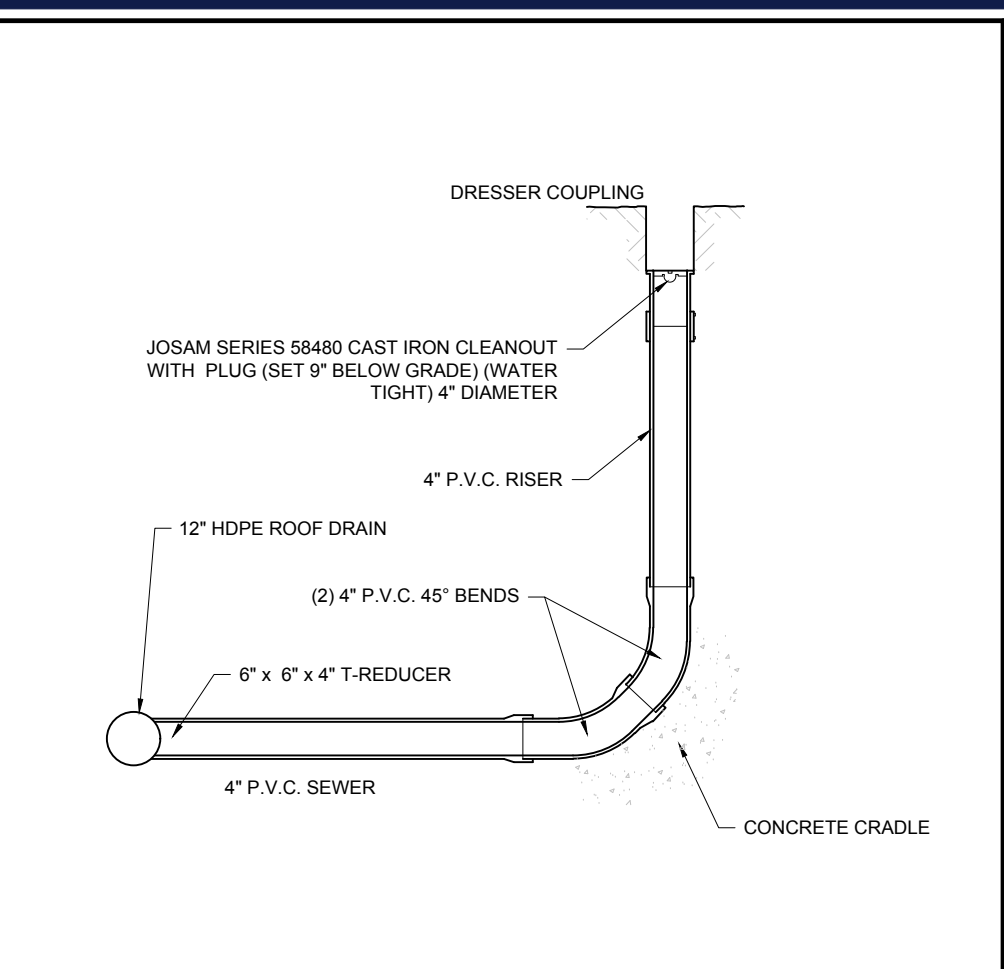
**PRECAST FLAT SLAB TOP FOR SHALLOW MANHOLE**

NOT TO SCALE (NE-U99901 - 10/2024)



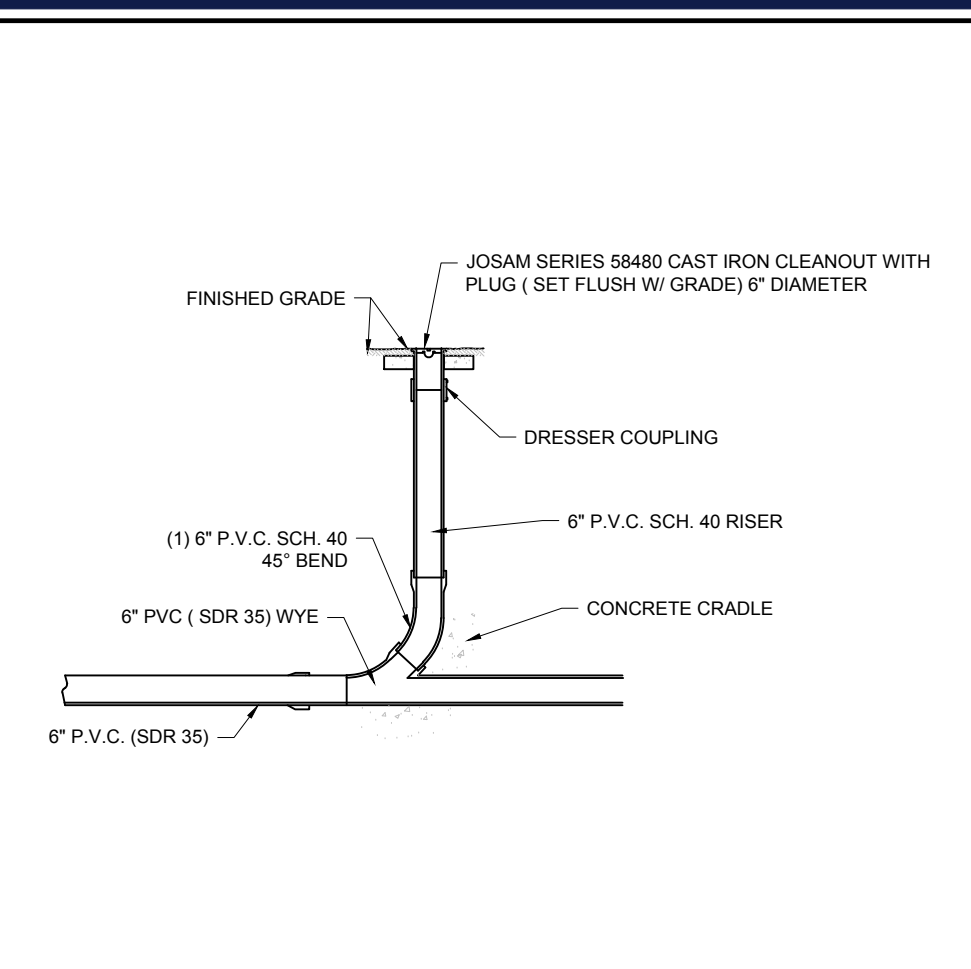
**HDPE STORM PIPE TRENCH**

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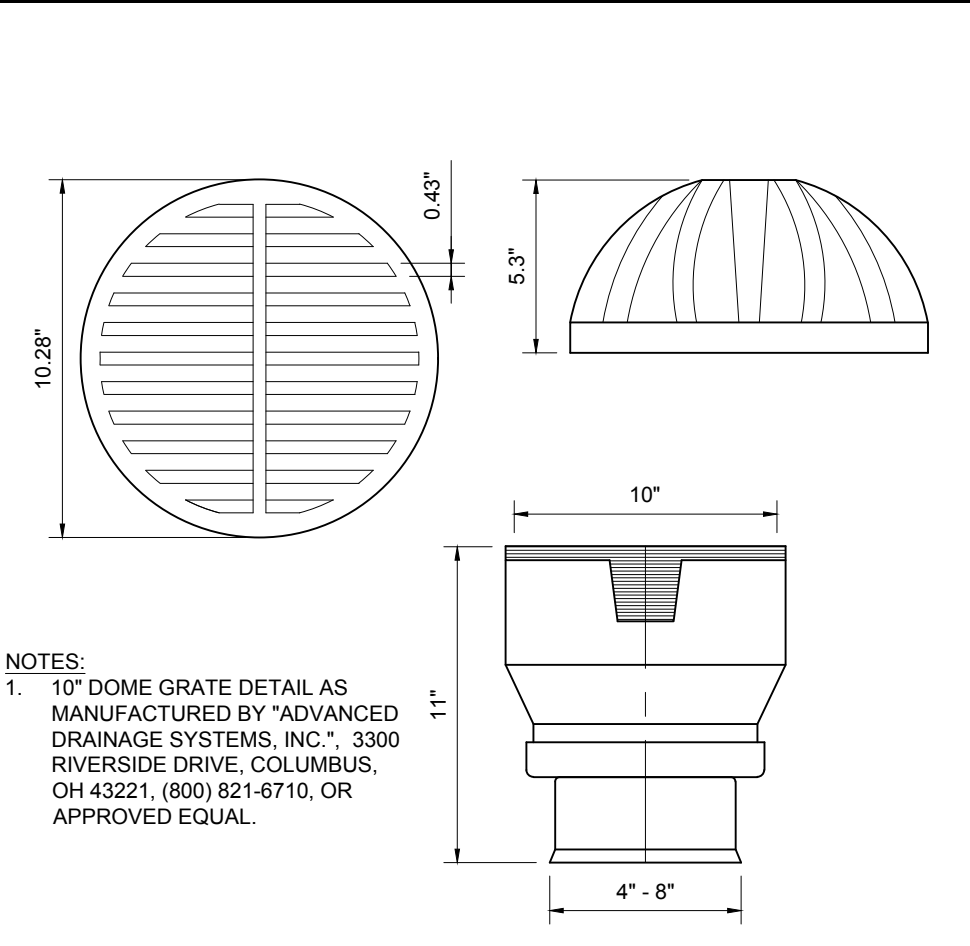
**CLEANOUT (TERMINAL)**

NOT TO SCALE (NE-U010301 - 09/2023)



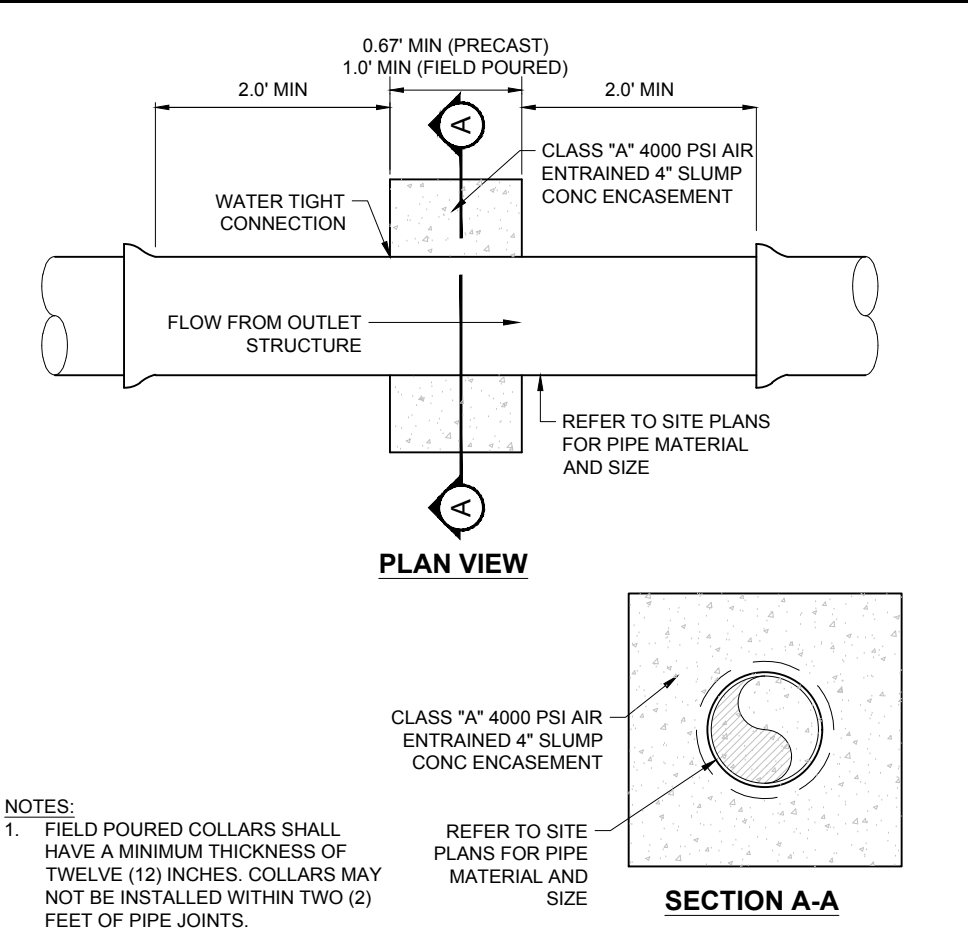
**CLEANOUT (IN-LINE)**

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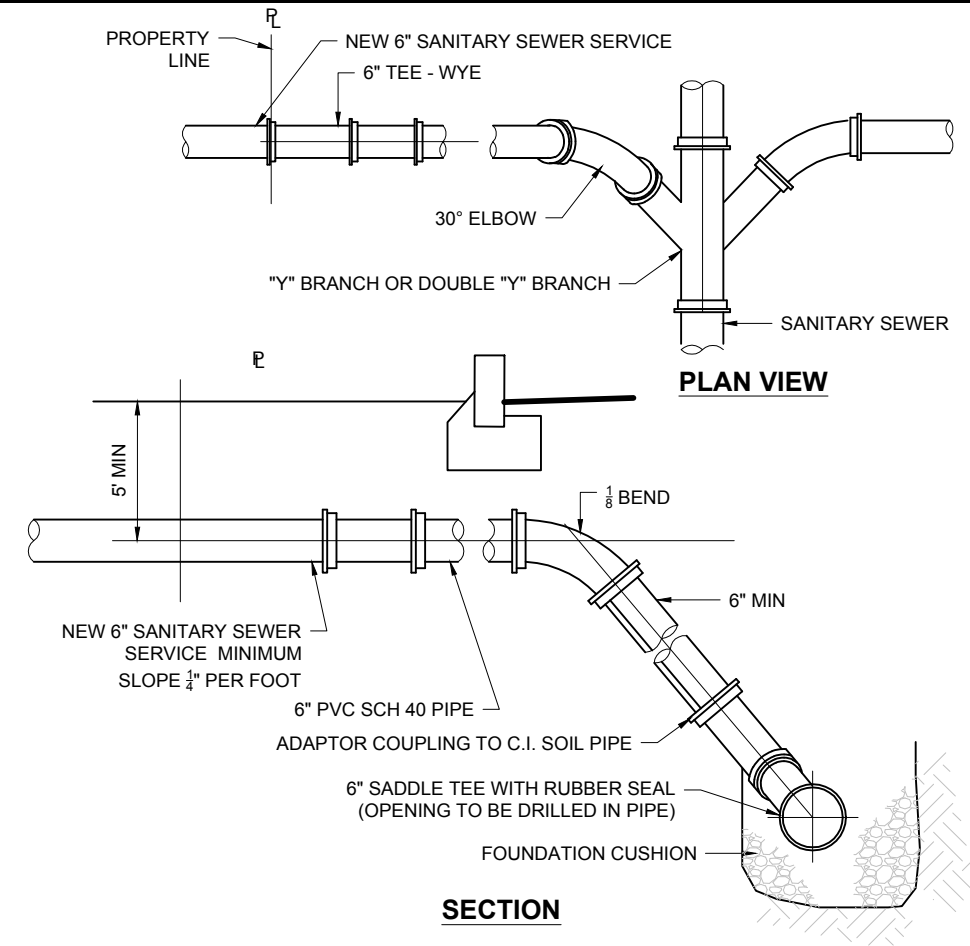
**YARD DRAIN**

NOT TO SCALE (NE-U010210 - 09/2023)



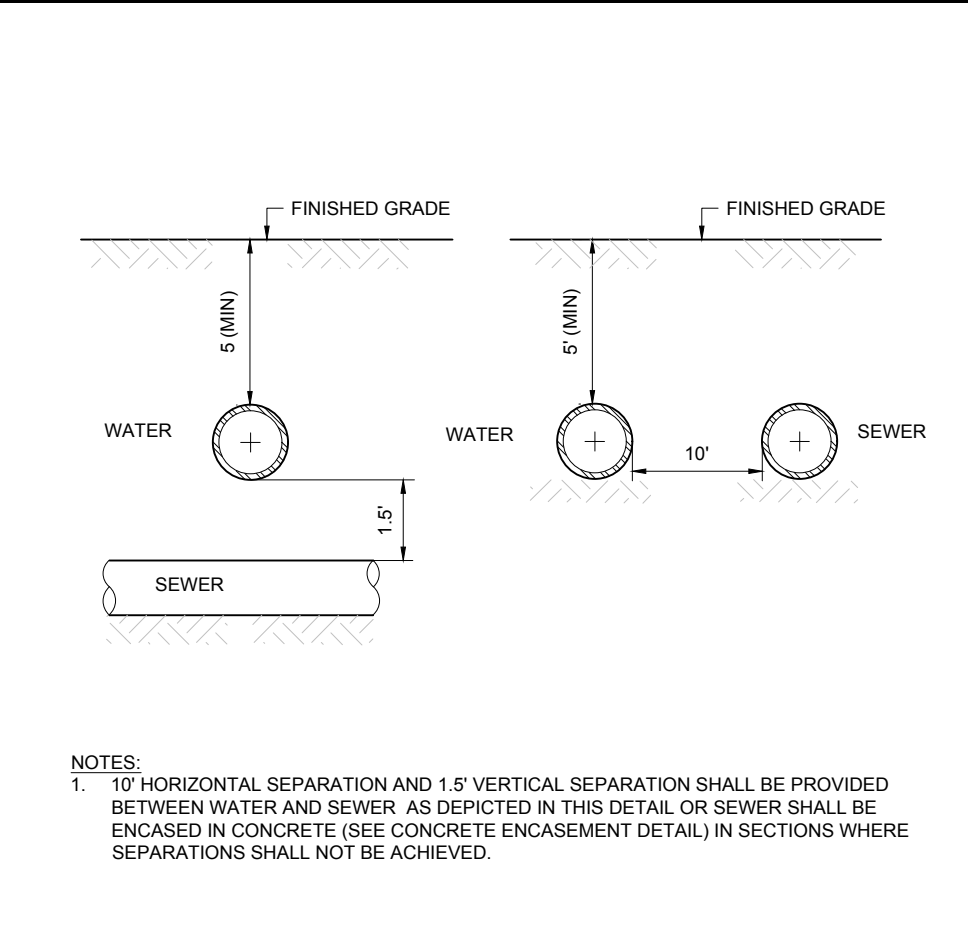
**ANTI-SEEP COLLAR**

NOT TO SCALE (NE-U019813 - 09/2023)



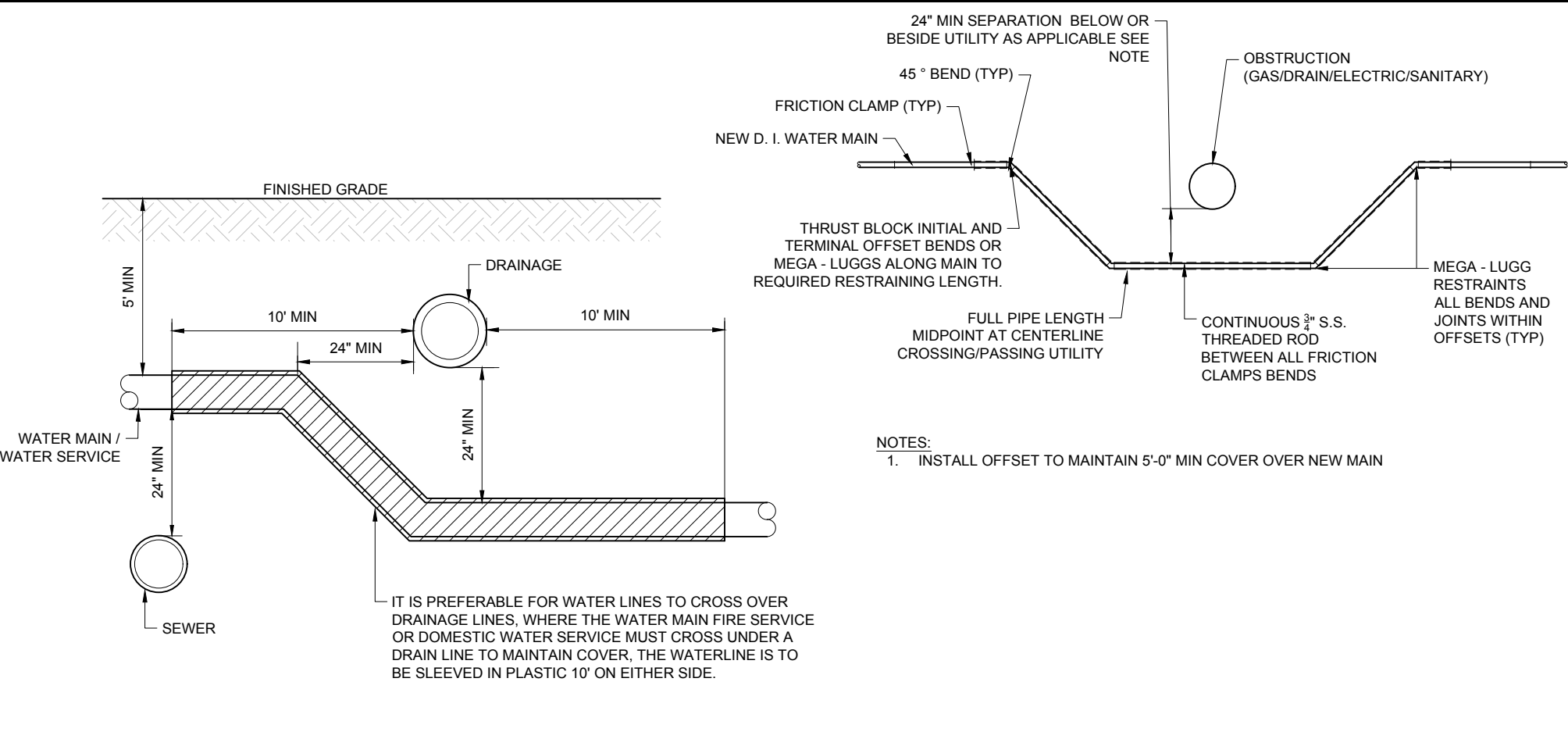
**SANITARY MAIN CONNECTION**

NOT TO SCALE (NE-U020401 - 09/2023)



**WATER AND SEWER UTILITY CROSSING**

NOT TO SCALE (NE-U050101 - 09/2023)



**WATER SERVICE OR MAIN AT UTILITY CROSSING**

NOT TO SCALE (NE-U050102 - 09/2023)

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REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/06/2025	CITY STAFF COMMENTS ZONING TABLE UPDATES	AJS	OCR
2	01/08/2025	ZONING TABLE UPDATES	AJS	OCR

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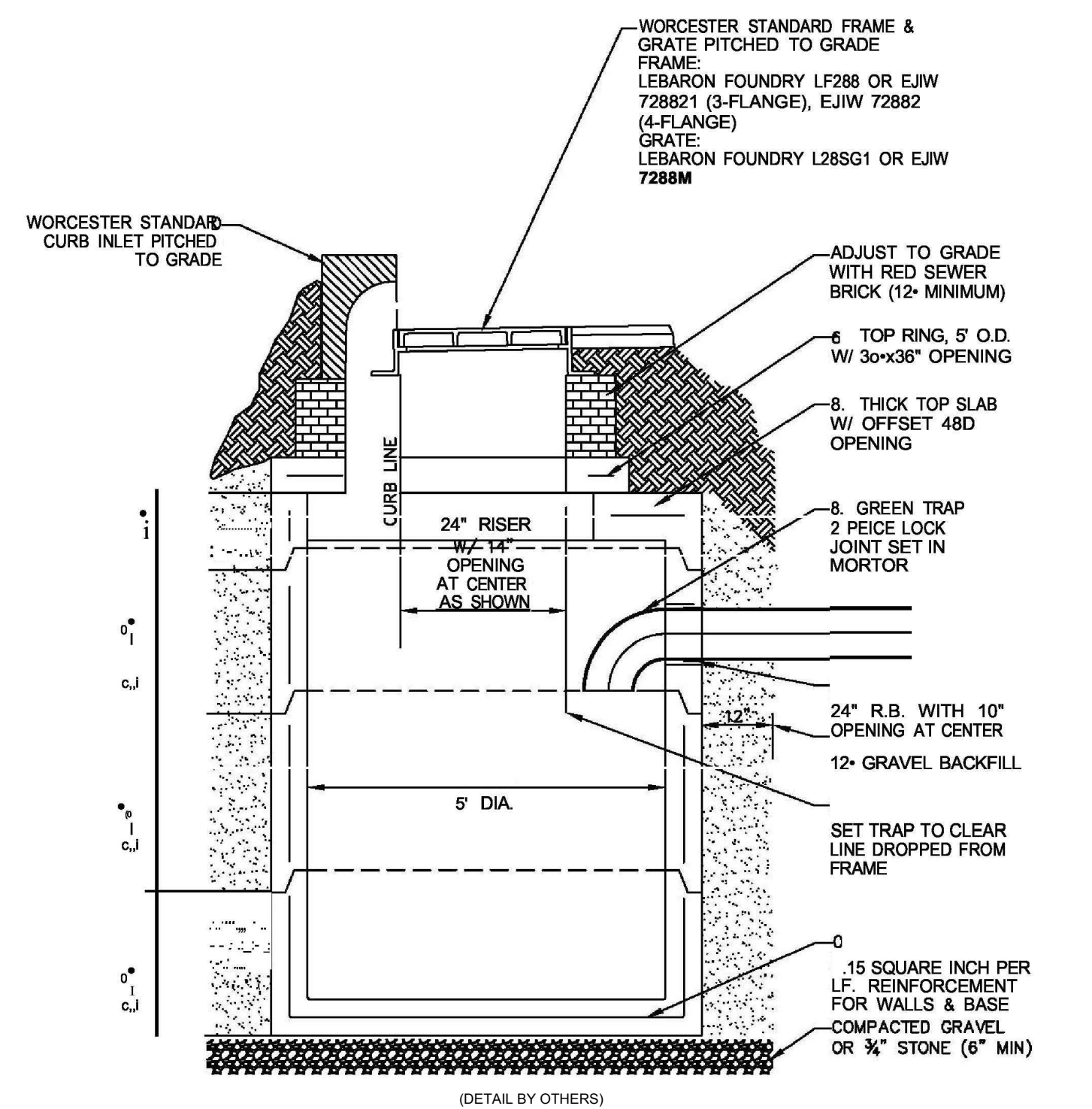
PROJECT No.: MAA240356 00-1A  
 DRAWN BY: OCR  
 CHECKED BY: AJS / MMA  
 DATE: 12/12/2024  
 CAD LD.: P-CIVIL-CNDS

**SITE DEVELOPMENT PLANS**  
 FOR  
  
**SMC**  
 PROPOSED  
 RESIDENCES AT TABLE TALK SQUARE  
 MAP: 5 | BLK: 5 | LOT: 0003A  
 120 WASHINGTON STREET  
 CITY OF WORCESTER  
 WORCESTER COUNTY  
 MASSACHUSETTS

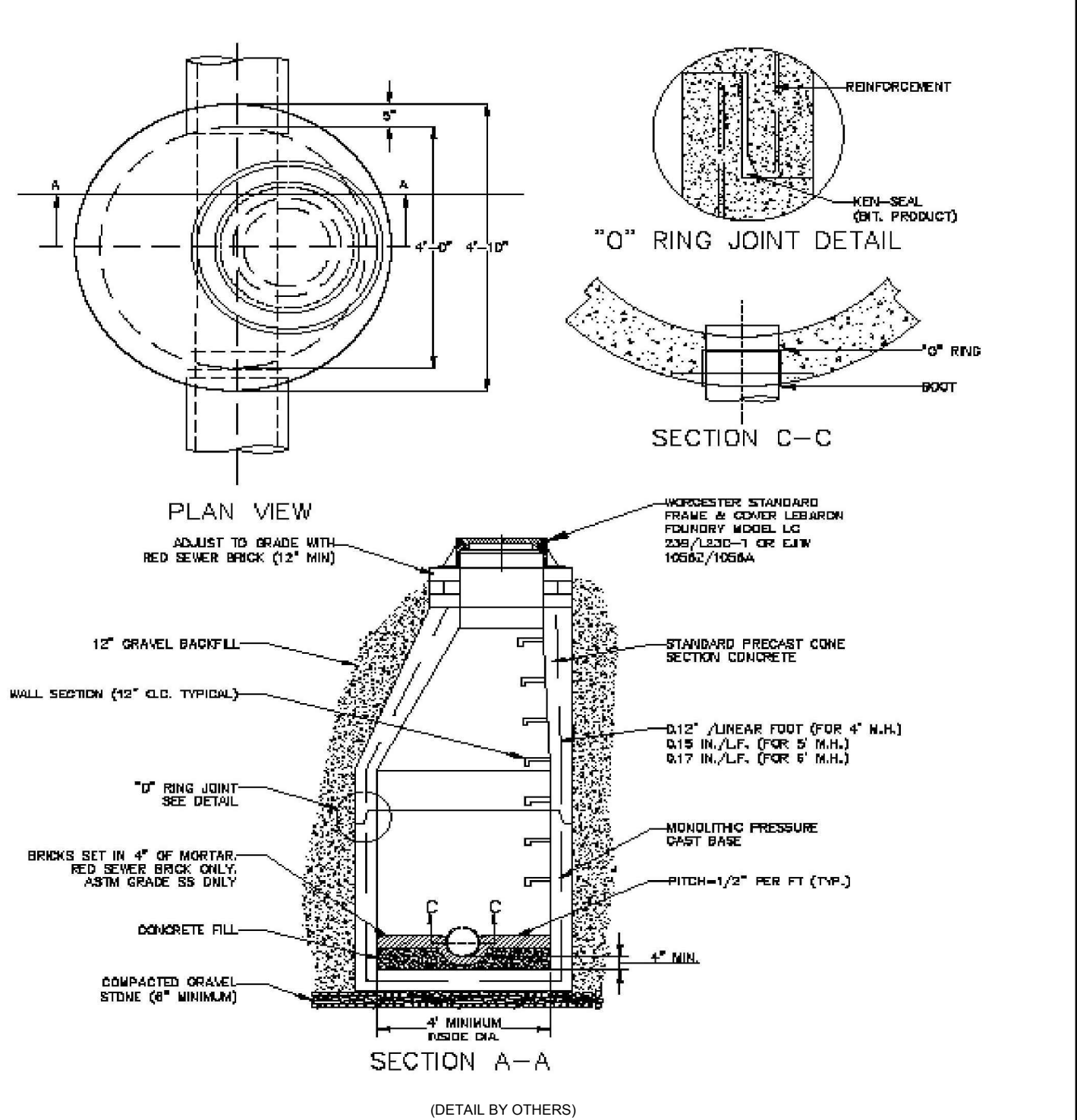
**BOHLER**  
 352 TURNPIKE ROAD, 3rd FLOOR  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
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SHEET TITLE:  
**CONSTRUCTION DETAILS**  
 SHEET NUMBER:  
**C-902**  
 REVISION 2 - 01/08/2025

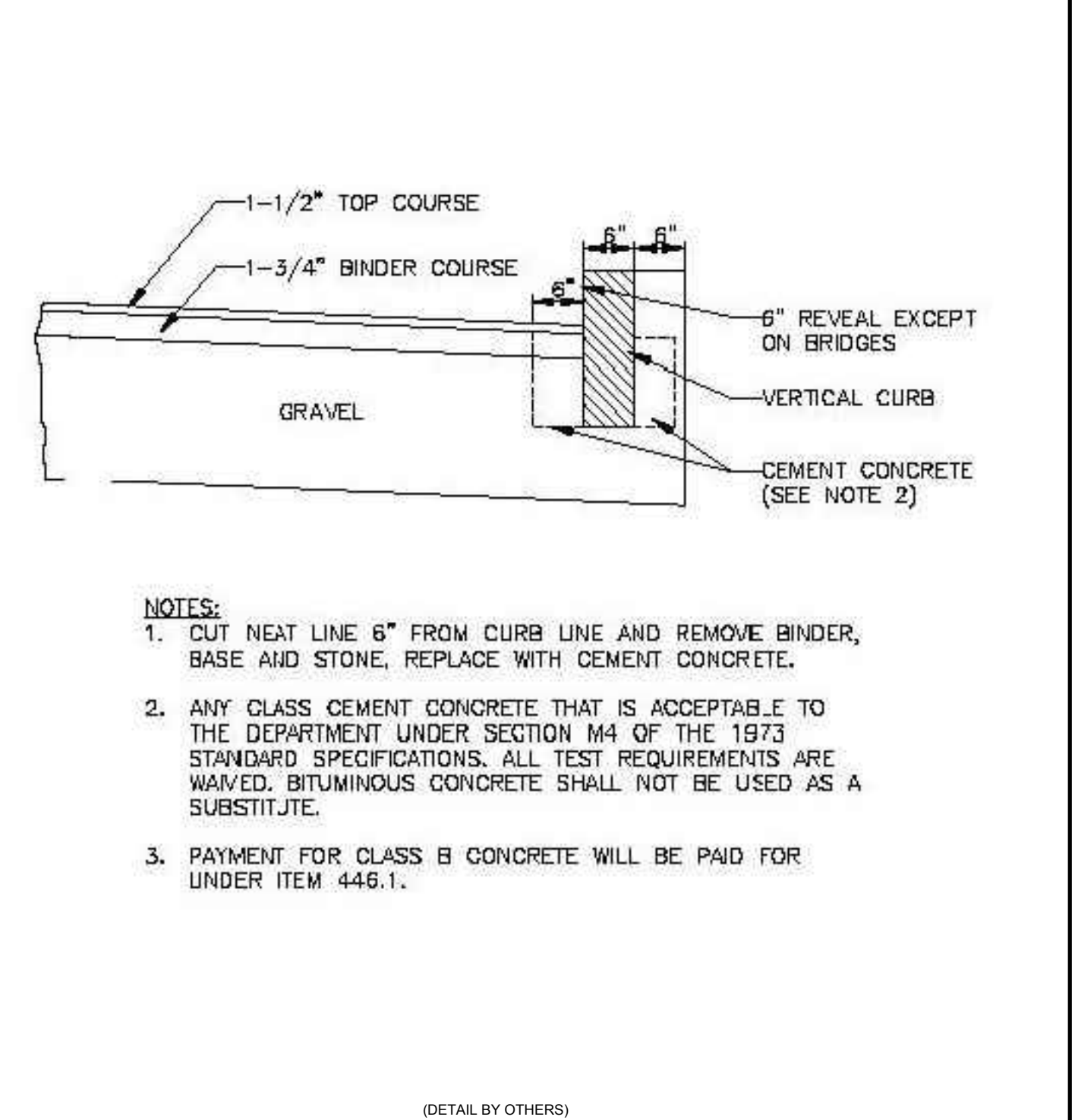
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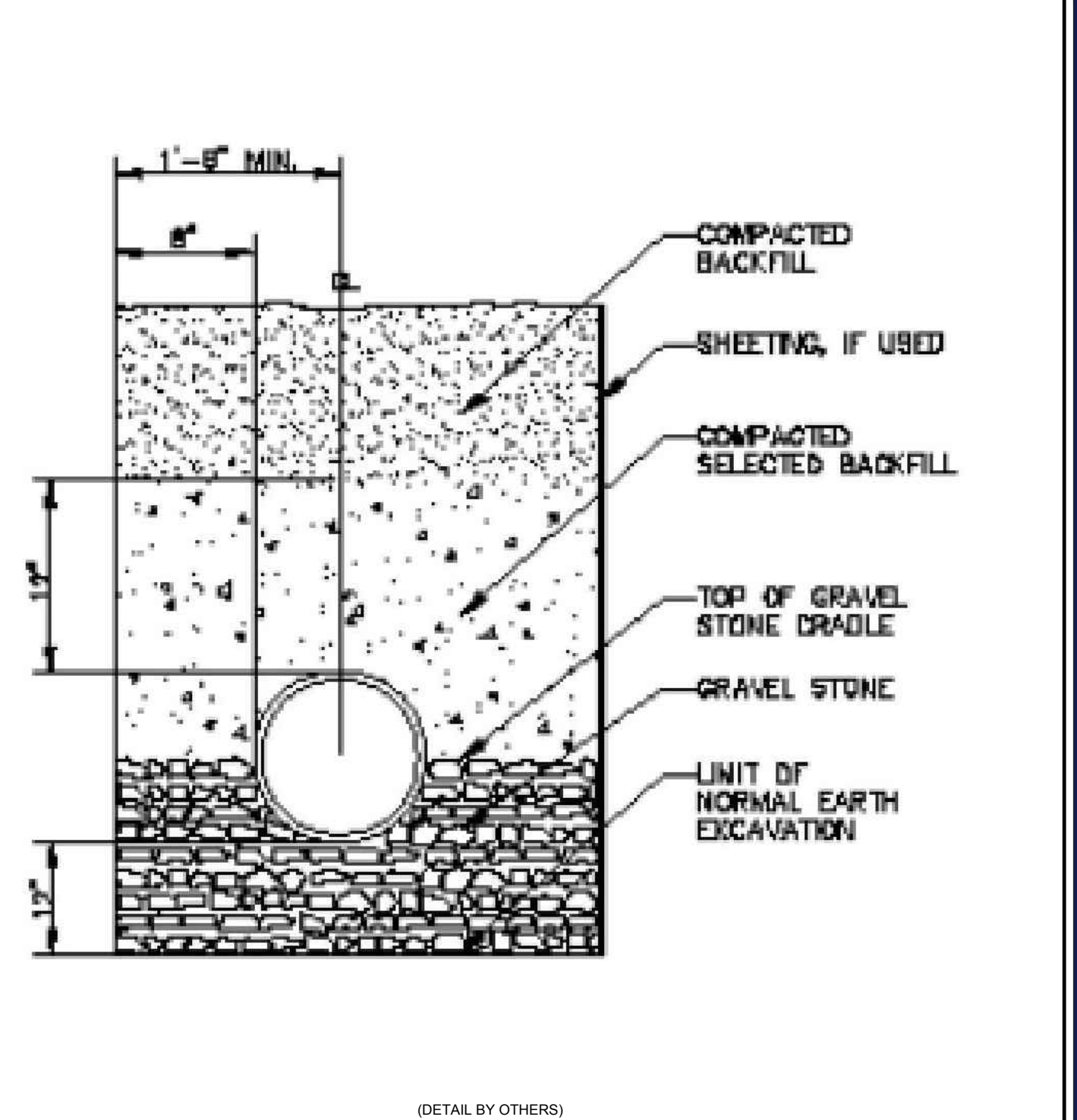
**CITY OF WORCESTER  
PRECAST CATCH BASIN DETAIL**



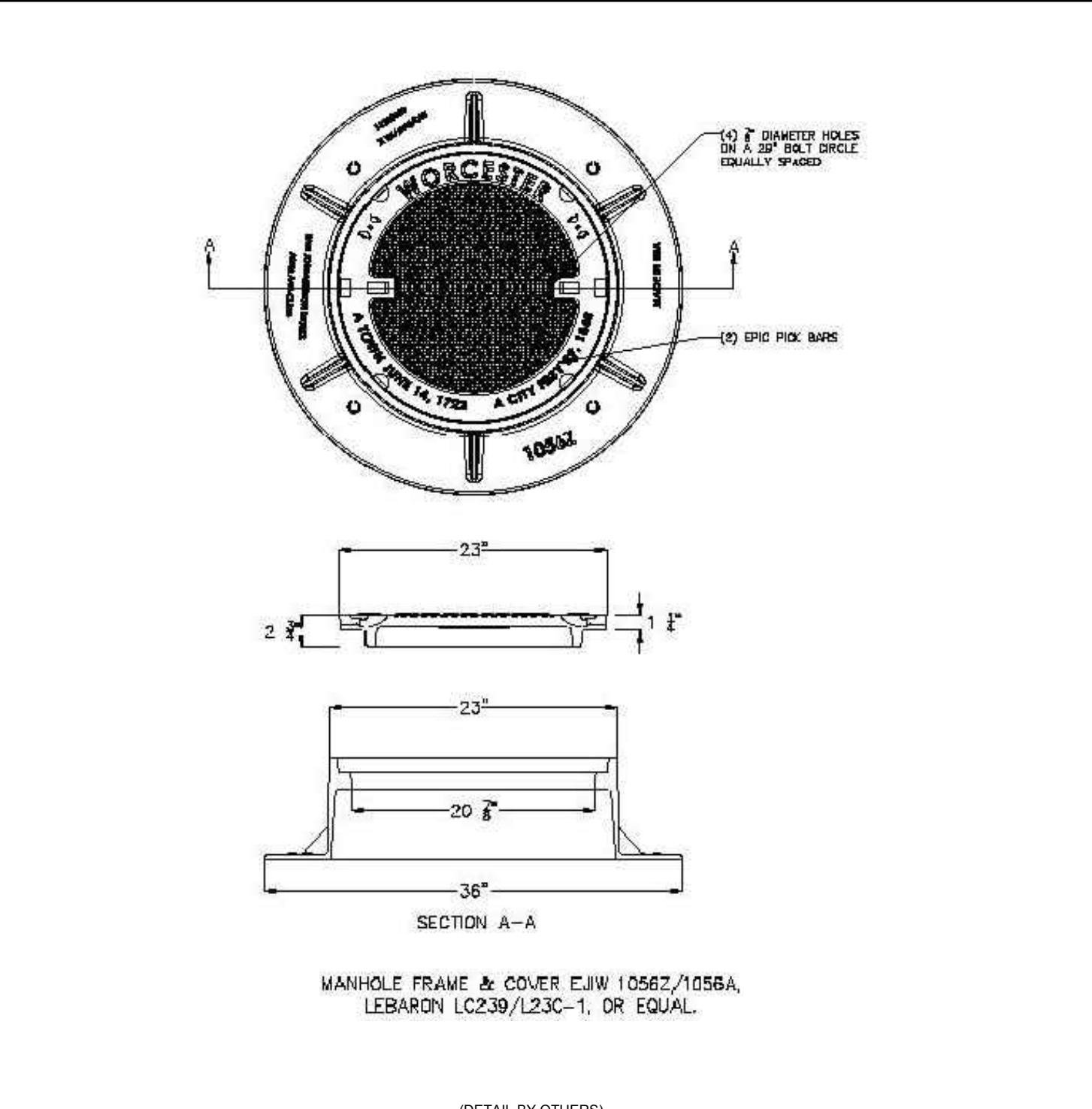
**CITY OF WORCESTER  
TYPICAL DRAINAGE MANHOLE DETAIL**



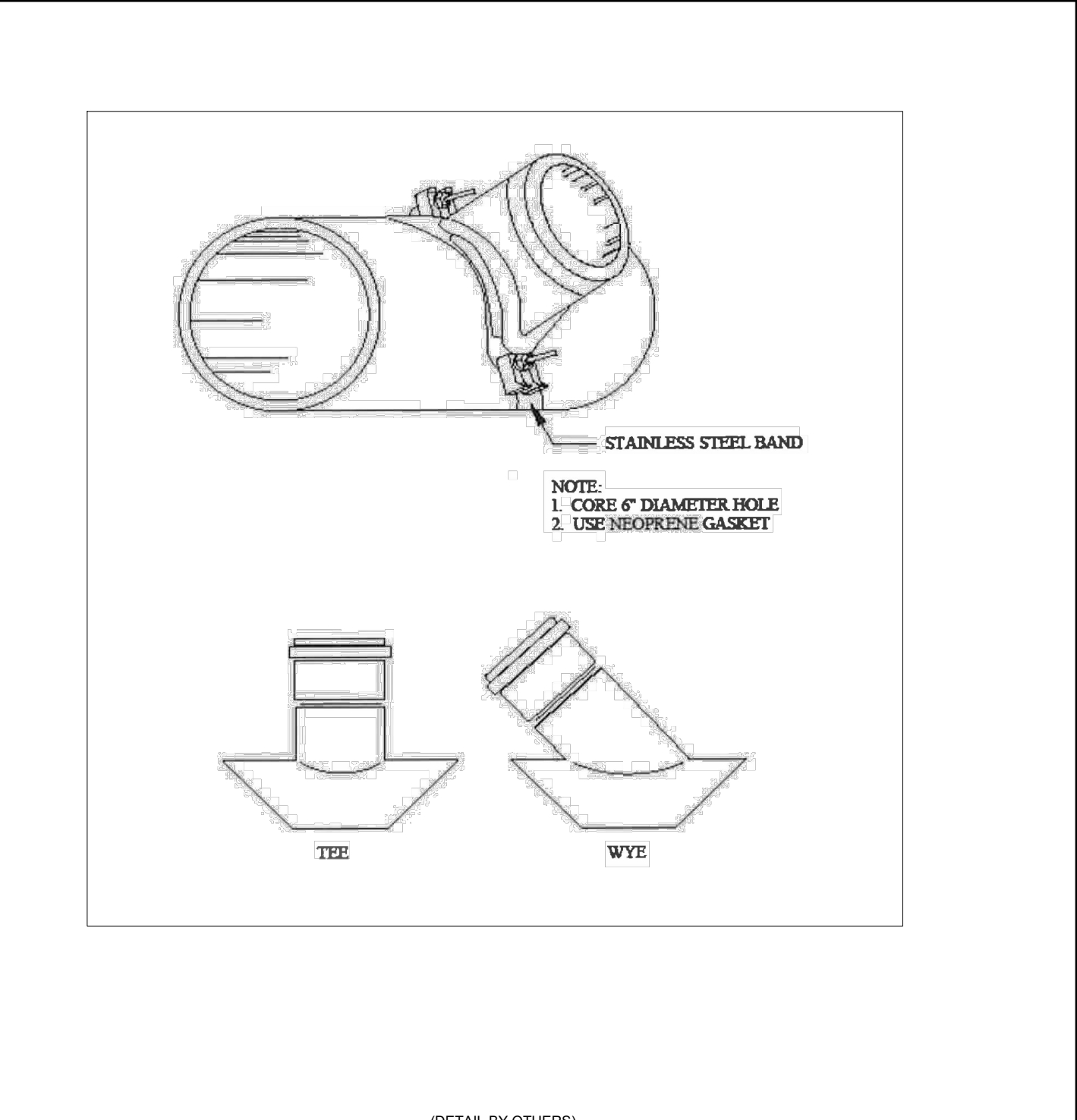
**CITY OF WORCESTER  
METHOD OF SETTING VERTICAL GRANITE CURB DETAIL**



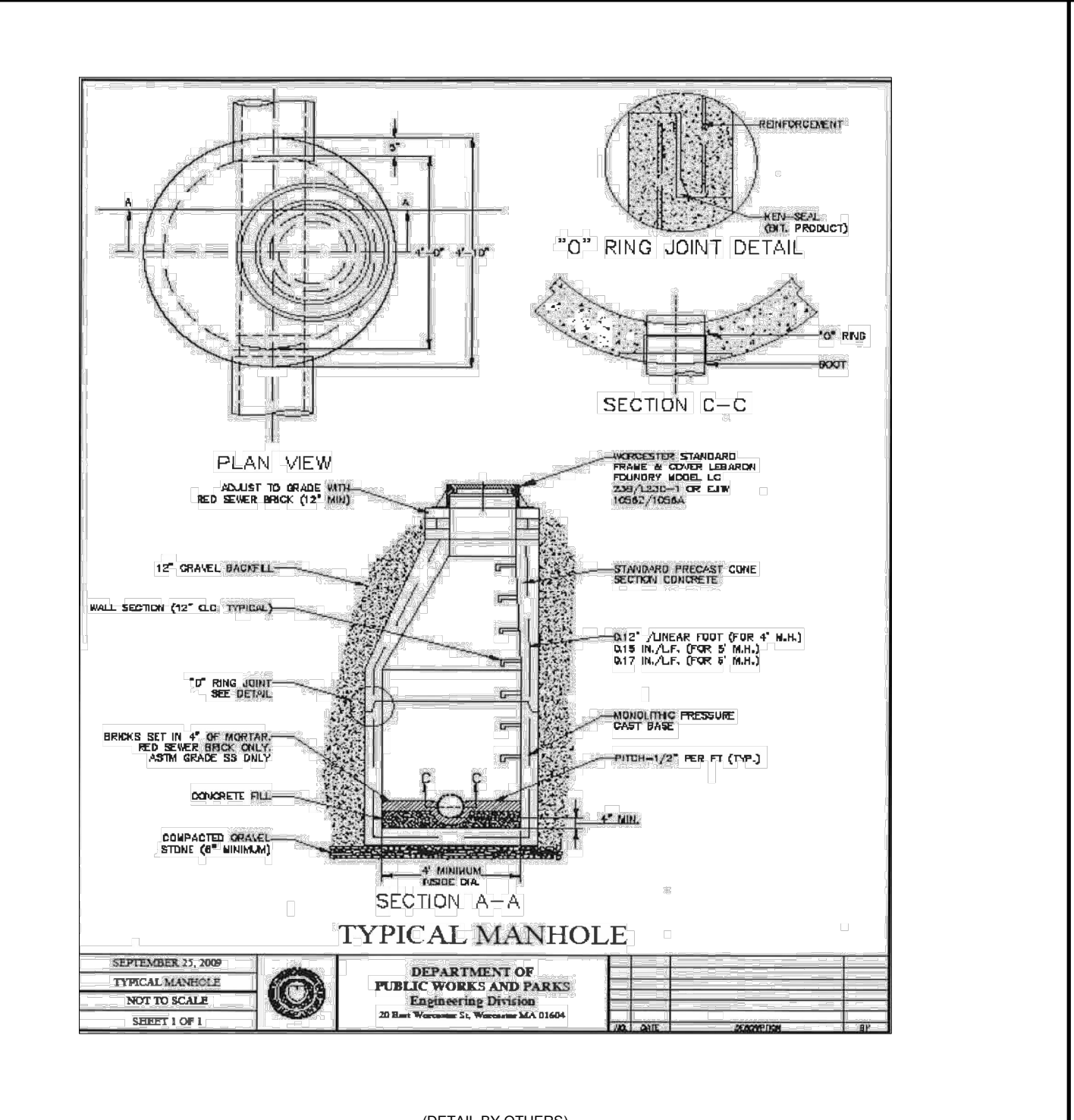
**CITY OF WORCESTER  
TYPICAL DRAIN MAIN TRENCH DETAIL**



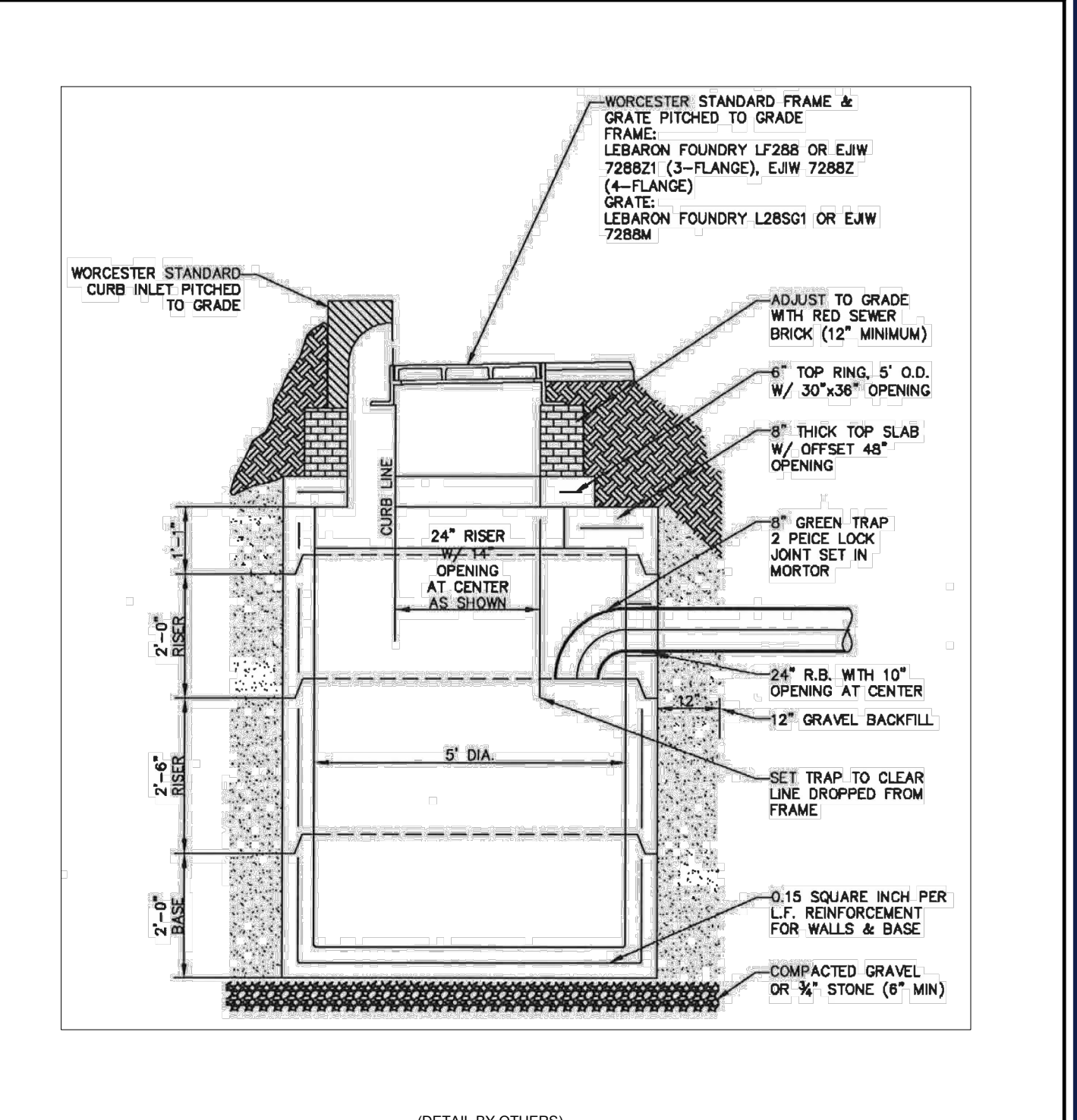
**CITY OF WORCESTER  
MANHOLE FRAME AND COVER DETAIL**



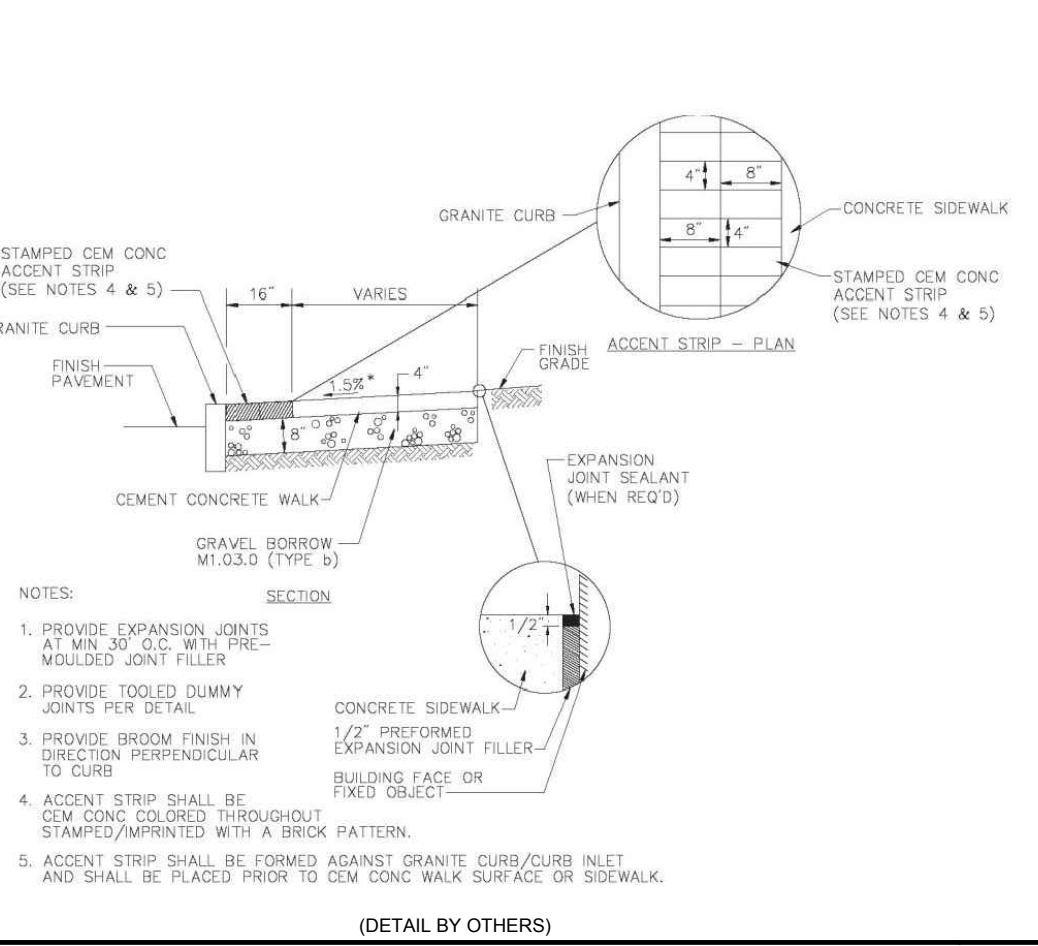
**CITY OF WORCESTER  
WYE & TEE SADDLES FOR 6\"/>**



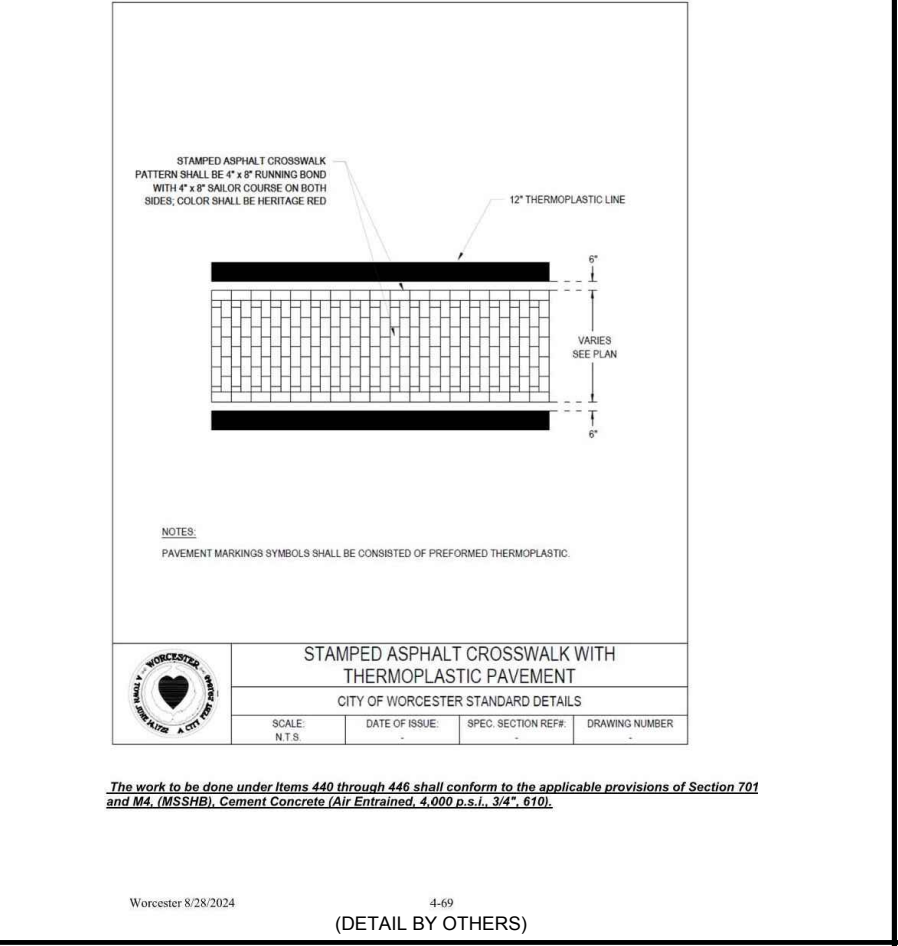
**CITY OF WORCESTER TYP.  
DRAIN MANHOLE DETAIL**



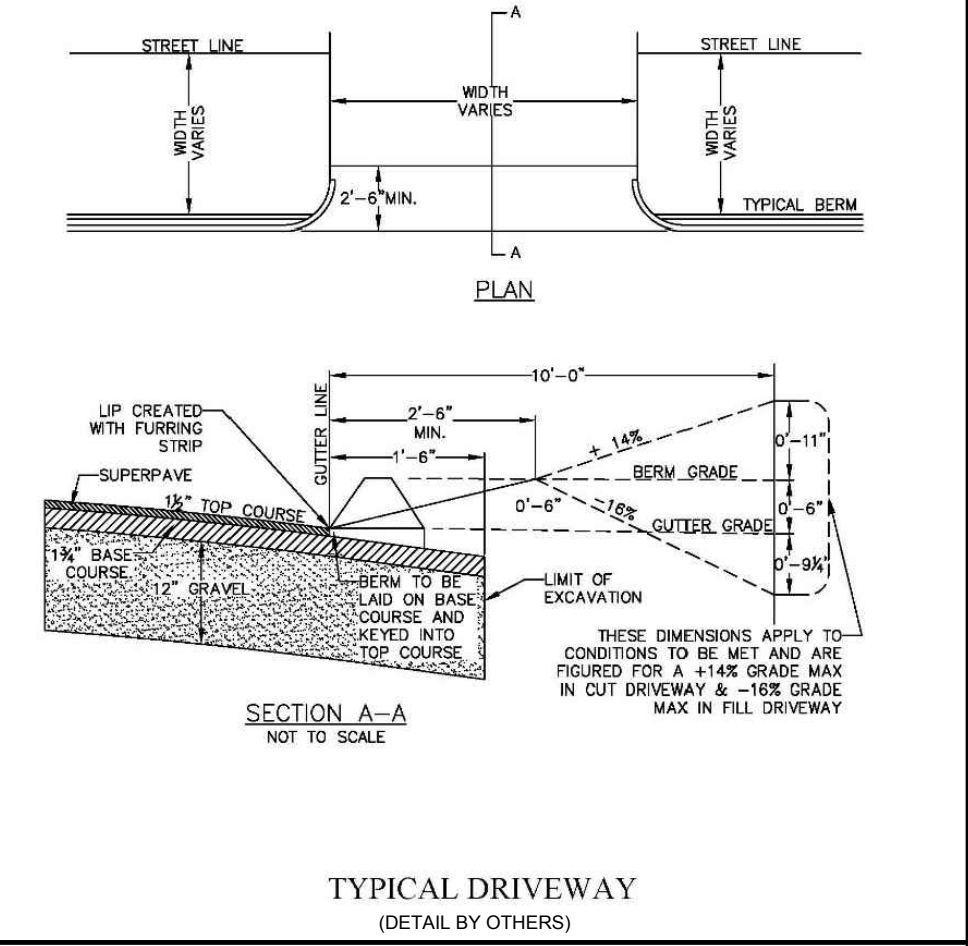
**CITY OF WORCESTER PRECAST  
CATCH BASIN DETAIL**



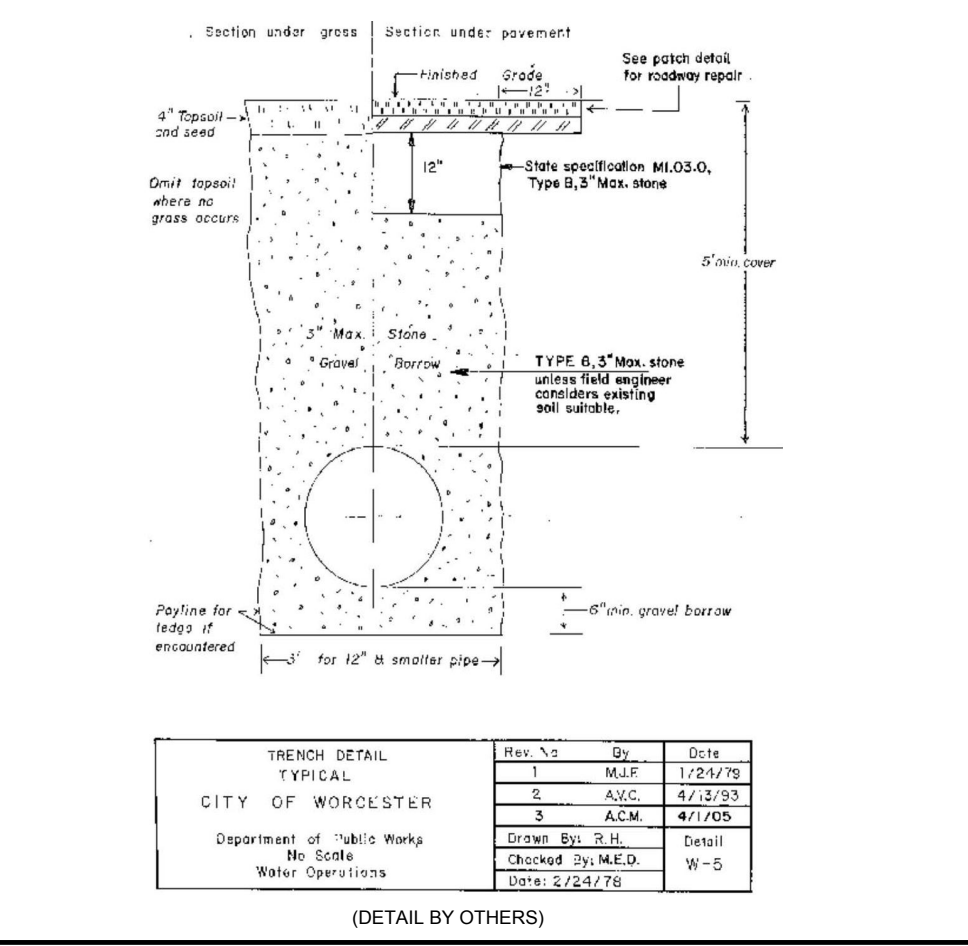
**CITY OF WORCESTER TYPICAL CEMENT  
CONCRETE SIDEWALK WITH ACCENT STRIP**



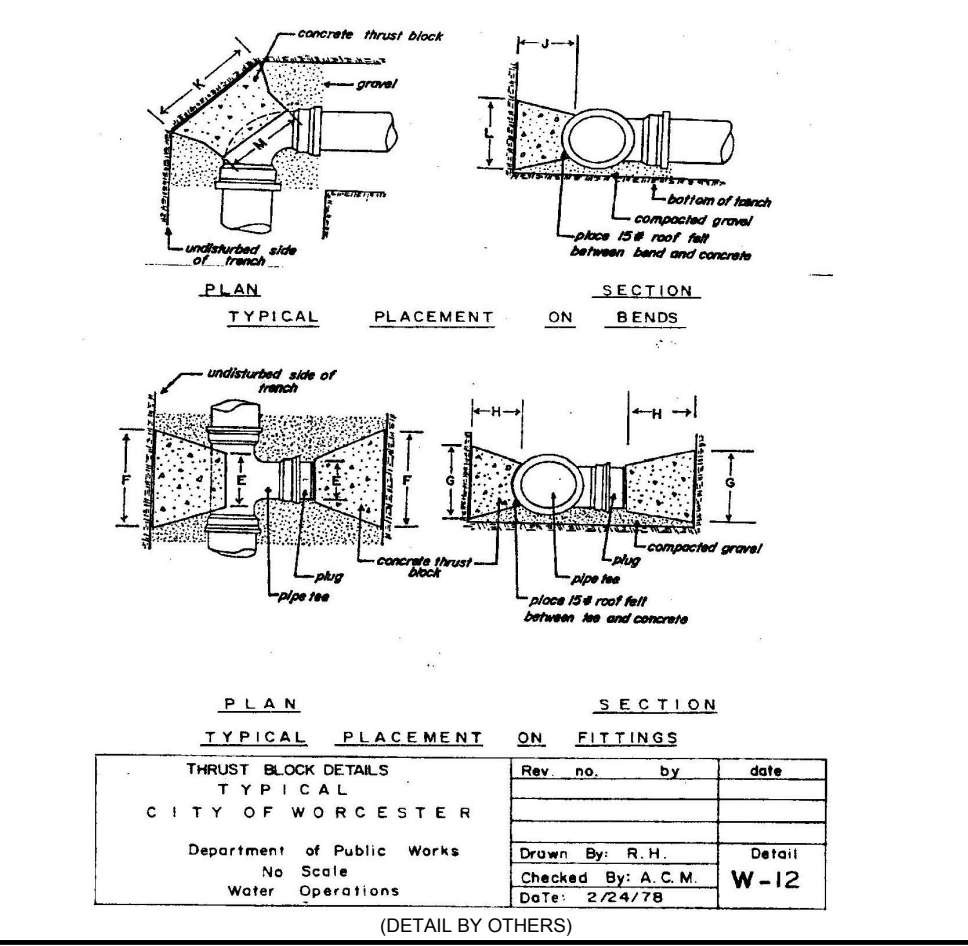
**CITY OF WORCESTER TYPICAL  
STAMPED ASPHALT CROSSWALK**



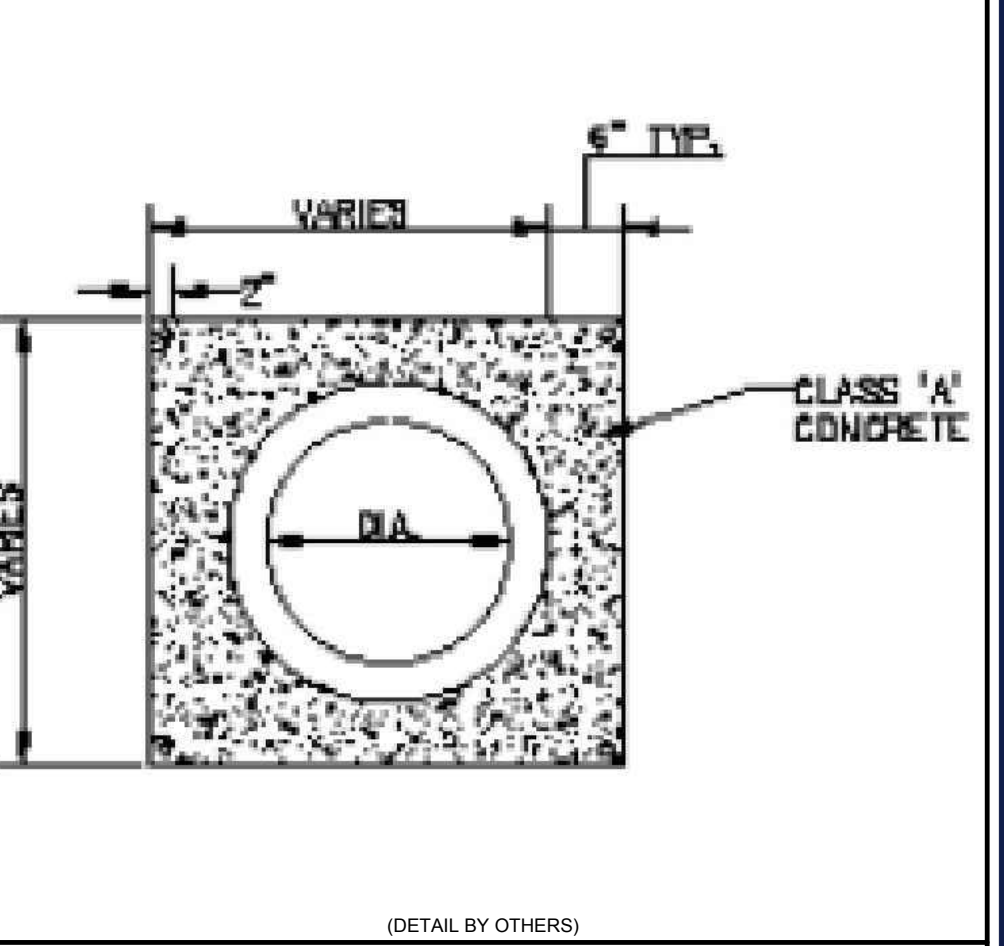
**CITY OF WORCESTER TYPICAL  
DRIVEWAY**



**CITY OF WORCESTER TYPICAL  
TRENCH DETAIL**



**CITY OF WORCESTER TYPICAL  
THRUST BLOCK DETAIL**



**CITY OF WORCESTER  
CONCRETE ENCASEMENT DETAIL**

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**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/06/2025	CITY STAFF COMMENTS	AJS	OCR
2	01/08/2025	ZONING TABLE UPDATES	OCR	AJS

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PROJECT No.: MAA240356-00-1A  
DRAWN BY: AJS / MMA  
DATE: 12/12/2024  
CAD ID: P-CIVIL-0ND5

**SITE DEVELOPMENT PLANS**  
FOR  
**SMC**  
PROPOSED  
RESIDENCES AT TABLE TALK SQUARE

MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**BOHLER**  
352 TURNPIKE ROAD, 3RD FLOOR  
SOUTHBOROUGH, MA 01772  
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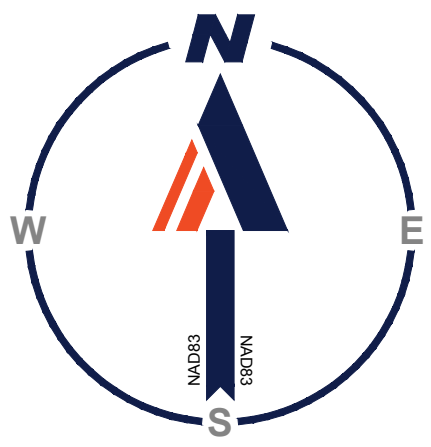
**J.A. KUCICH**  
PROFESSIONAL ENGINEER  
MASSACHUSETTS REG. NO. 15476  
NEW HAMPSHIRE REG. NO. 20177  
RHODE ISLAND LICENSE NO. 3619  
MAINE LICENSE NO. 12553

SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**C-903**

REVISION 2 - 01/08/2025

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**CITY OF WORCESTER  
LANDSCAPE REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE IV, SECTION 7 (NOTE 5, A&B)	WITH THE EXCEPTION OF RESIDENTIAL DRIVEWAYS AND COMMON DRIVEWAYS, PARKING FACILITIES SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL BOUNDARY LINES TO PROVIDE A BUFFER AREA FROM ADJACENT LOTS. THE BUFFER AREAS SHALL CONSIST OF PERMEABLE SURFACES AND SHALL BE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION 5(C).	INTERIOR PARKING PROVIDED
PARKING LOCATION AND LAYOUT REQUIREMENTS FOR ALL ZONING DISTRICTS (PG. # 105 - 106)	THE PARKING OR STORAGE OF MOTOR VEHICLES IS NOT PERMITTED IN THE FRONT YARD OR REAR YARD OR SETBACK, WHICHEVER IS LESS, OR THE EXTERIOR SIDE YARD OR REQUIRED EXTERIOR SIDE YARD SETBACK, WHICHEVER IS LESS.	PROVIDED
	PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL HAVE LANDSCAPING IN THE INTERIOR OF THE PARKING LOT IN ADDITION TO LANDSCAPING ALONG THE EDGES OF THE LOT.	N/A
ARTICLE IV, SECTION 7 (NOTE 6)	AT LEAST ONE (1) TREE SHALL BE PLANTED WITHIN THE PARKING LOT INTERIOR FOR EVERY TEN (10) PROPOSED AND EXISTING SPACES. SUCH INTERIOR TREES SHALL BE IN ADDITION TO TREES REQUIRED ALONG THE EDGES OF THE LOT.	N/A
INTERIOR LANDSCAPING (PG. # 106)	INTERIOR TREES SHALL BE PLANTED IN PLANTING BEDS NO SMALLER THAN FIVE FEET BY FIVE FEET (5' X 5').	N/A
	PARKING SPACES ADJUTING A LANDSCAPE SETBACK AREA (AS DESCRIBED IN NOTE 5, ABOVE) AND IN COMPLIANCE WITH ARTICLE V, SECTION 5(C) OF THIS ORDINANCE, HOWEVER, SHALL NOT BE COUNTED IN THE CALCULATION WHEN DETERMINING THE NUMBER OF INTERIOR TREES REQUIRED.	N/A
	TREES SHALL BE LOCATED IN SUCH A MANNER AS TO PROVIDE SHADE OVER THE GREATEST NUMBER OF PARKING SPACES PRACTICABLE.	N/A
	A. LANDSCAPE SCREENING SHALL BE REQUIRED ALONG THE SIDEWALK EDGE AND SIDE LOT LINES WHERE THE PARKING, WORK OR SERVICE AREA OF A PROPOSED PROJECT ADJUTS A STREET, PUBLIC PARK OR RESIDENTIAL PROPERTY.	PROVIDED WHERE POSSIBLE
	B. LANDSCAPING SCREENING SHALL CONSIST OF PLANTING AREAS AT LEAST FIVE (5) FEET WIDE LOCATED ALONG THE SIDEWALK EDGE AND/OR SIDE LOT LINES OF A PROPOSED USE. LANDSCAPE SCREENING AREAS SHALL BE SEPARATED FROM PARKING AREAS BY A SIX-INCH HIGH CURB. TREES SHALL BE THE MAJOR ELEMENTS OF LANDSCAPE SCREENING. A COMBINATION OF PLANT MATERIALS, TREES AND SHRUBS SHALL BE INCLUDED IN LANDSCAPE SCREENING AREAS. FENCING MAY BE USED IN COMBINATION WITH TREES AND SHRUBS, WHEN APPROPRIATE.	PROVIDED WHERE POSSIBLE
	I. TREES: TREES SHALL BE PLANTED EVERY TWENTY (20) TO TWENTY-FIVE (25) FEET ON CENTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST THREE (3) TO THREE AND ONE-HALF (3 1/2) INCHES IN DIAMETER WHEN MEASURED SIX (6) INCHES ABOVE THE GROUND.	PROVIDED
ARTICLE V, SECTION 5(C)	II. SHRUBS: SHRUBS SHALL BE PLANTED ALONG WITH TREES IN A LANDSCAPE SCREENING AREA. SHRUBS MAY BE DECIDUOUS OR EVERGREEN, OR A MIXTURE OF BOTH TYPES, AND SHALL BE DENSELY PLANTED TO PROVIDE A MATURE APPEARANCE WITHIN THREE (3) YEARS.	PROVIDED
LANDSCAPING DESIGN STANDARDS (PG. # 177)	FOR LANDSCAPE SCREENING AREAS ALONG A SIDEWALK EDGE, SHRUBS SHALL BE NO TALLER THAN FOUR (4) FEET HIGH.	PROVIDED
	III. FENCING: FENCING IN A LANDSCAPE SCREENING AREA ALONG A SIDEWALK EDGE SHALL BE INSTALLED JUST INSIDE THE PROPERTY LINE. SUCH FENCE SHALL BE THREE (3) TO FOUR (4) FEET IN HEIGHT AND AT LEAST FIFTY PERCENT (50%) PERFORATED. DECORATIVE APPROPRIATE FOR SIDEWALK EDGES. FENCING SHALL BE LOCATED UP TO OR WITHIN A THREE-FOOT DISTANCE FROM THE PROPERTY LINE. SUCH FENCING SHALL BE OPAQUE. HIGH FENCES THAT COVER LONG DISTANCES SHALL HAVE SURFACE TEXTURES TO MINIMIZE THEIR SIZE. A WOODEN SHADOWBOX FENCE IS AN EFFECTIVE SCREEN BETWEEN PROPERTIES. IN GENERAL, CHAIN LINK FENCING IS TO BE DISCOURAGED. IF CHAIN LINK FENCING IS USED, IT SHALL BE LIMITED TO SMALL AREAS AND SHALL BE VINYL-COATED CHAIN LINK. THE PLANNING BOARD SHALL DETERMINE THE COLOR OF THE VINYL COATING TO BE USED.	N/A
ARTICLE V, SECTION 5(C)	REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, FREE OF REFUSE AND DEBRIS, AND ANY PLANTINGS THAT DO NOT SURVIVE SHALL BE REPLACED IN KIND BY THE APPLICANT OR PROPERTY OWNER WITHIN A REASONABLE PERIOD OF TIME. ALL PLANT MATERIAL AND FENCING SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. THERE SHALL BE NO PARKING OF VEHICLES OR SNOW STORAGE IN AREAS USED FOR SCREENING AND BUFFERING.	PROVIDED
ARTICLE V, SECTION 5(C)	LANDSCAPING BUFFERS FOR PARKING AREAS SHALL BE A MINIMUM OF THREE (3) FEET IN WIDTH WITH MINIMUM FIVE (5) FEET BY FIVE (5) FEET TREE PLANTING AREAS FOR REQUIRED TREE PLANTINGS. LANDSCAPING BUFFERS FOR PARKING AREAS BORDERING THE FRONT YARD SETBACK, DRIVE-THROUGH LANES OR DRIVE-THROUGH ESCAPE LANES SHALL BE A MINIMUM OF FIVE (5) FEET IN WIDTH.	N/A

**REVISIONS**

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/06/2025	CITY STAFF COMMENTS	AJS	OCR
2	01/08/2025	ZONING TABLE UPDATES	AJS	OCR

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PROJECT No.: MAA240356-00-1A  
DRAWN BY: AJS / MMA  
DATE: 12/22/2024  
CAD ID: P-CIVIL-LSCP

**SITE DEVELOPMENT PLANS**  
FOR  
**SMC**  
PROPOSED  
RESIDENCES AT TABLE TALK SQUARE

MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**BOHLER**  
352 TURNPIKE ROAD, 3rd FLOOR  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
www.BohlerEngineering.com



SHEET TITLE:  
**OVERALL LANDSCAPE PLAN**

SHEET NUMBER:  
**L-101**

REVISION 2 - 01/08/2025

**ASH STREET**  
(PUBLIC - 30' WIDE)  
ONE WAY TRAFFIC  
(ASPHALT ROADWAY)

**SPRUCE STREET**

**WASHINGTON STREET**  
(PUBLIC - 40' WIDE)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

**OWNER MAINTENANCE RESPONSIBILITIES**

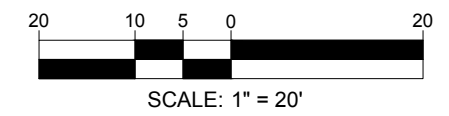
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UNKIP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE RELATED AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN SURFACES OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVELED SURFACES, OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**

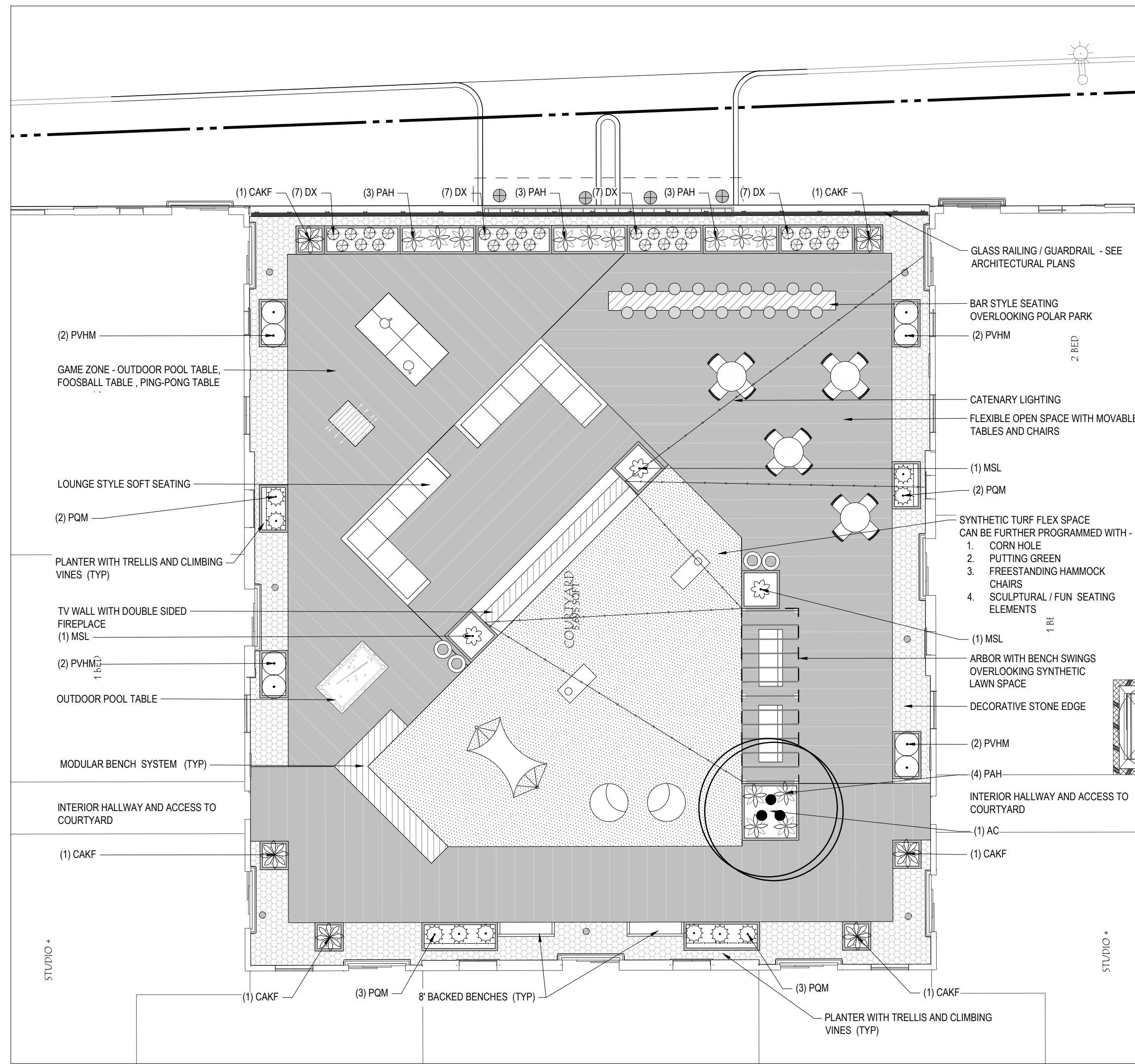
**REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS**



**PLANT SCHEDULE PERIMETER**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES					
LF	12	LIQUIDAMBAR STYRACIFLUA FASTIGIATA	COLUMNAR SWEET GUM	3'-3.5' CAL.	B&B
QPP	8	QUERCUS PALustris FRINGENS	GREENPALAR PIN OAK	3'-3.5' CAL.	B&B
EVERGREEN TREES					
JT	18	JUNIPERUS VIRGINIANA TAYLOR	TAYLOR EASTERN REDCEDAR	6-8'	B&B
ORNAMENTAL TREES					
PC	2	PRUNUS SARGENTII COLUMNARIS	COLUMNAR SARGENT CHERRY	3'-3.5' CAL.	B&B
SHRUBS					
CAC	24	CLETHRRA ALPINOIA COMPACTA	COMPACT SUMMERSWEET	24-30"	CONTAINER
CSF	6	CORNUS STOLONIFERA FARGESII	ACTIVE FIRE RED THINE DOORWOOD	24"	CONTAINER
RAG	12	RHIS ARDONTICA GRELOW	GRELOW FRAGRANT SIANAC	15-18"	CONTAINER
RPJM	18	RHOODENDRON X FJM	FJM RHOODENDRON	24-30"	CONTAINER
GROUND COVER					
JHB	4	JUNIPERUS HORIZONTALIS BAR HARBOR	BAR HARBOR CREEPING JUNIPER	15-18' SPRD	CONTAINER
MD	9	MICROBIOTA DECOUSSATA	SIBERIAN CARPET CYPRESS	15-18' SPRD	CONTAINER
PERENNIALS					
HG	86	HOSTA X GREAT EXPECTATIONS	GREAT EXPECTATIONS HOSTA	1 GAL.	CONTAINER
HGP	77	HEUCHERA X GEORGIA PEACHY	GEORGIA PEACH CORAL BELLS	1 GAL.	CONTAINER
LMB	722	LIRIODE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER

BOHLER ENGINEERING, INC. PROJECT: 2024-001-MAA240356-00-1A-LAYOUT-L-101-LSCP



**NORTH COURTYARD PLAN ENLARGEMENT**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>ORNAMENTAL TREES</b>					
AC	1	AMELANCHER CANADENSIS	MULTISTEM SHADBLOW SERVICEBERRY	8-10'	B&B
<b>SHRUBS</b>					
DX	28	DEUTZIA X NCDX1	YUKI SNOWFLAKER DEUTZIA	15-18"	CONTAINER
<b>GRASSES</b>					
CAKF	6	CALAMAGROSTIS X ACUTIFLORA KARL FODERSTER	FEATHER REED GRASS	1 GAL.	CONTAINER
MSL	3	MISCANTHUS SINENSIS LITTLE KITTEN	LITTLE KITTEN EULALIA GRASS	1 GAL.	CONTAINER
PAH	13	PENNISETUM ALOPECUROIDES 'HAMELIN'	HAMELIN FOUNTAIN GRASS	1 GAL.	CONTAINER
PVM	8	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER
<b>VINES</b>					
PVM	10	PARTHENOCISSUS QUINQUELOBA 'WONHAM'	STAR SHOWERS VIRGINA CREEPER	1 GAL.	CONTAINER



**SYNTHETIC TURF FLEX SPACE**



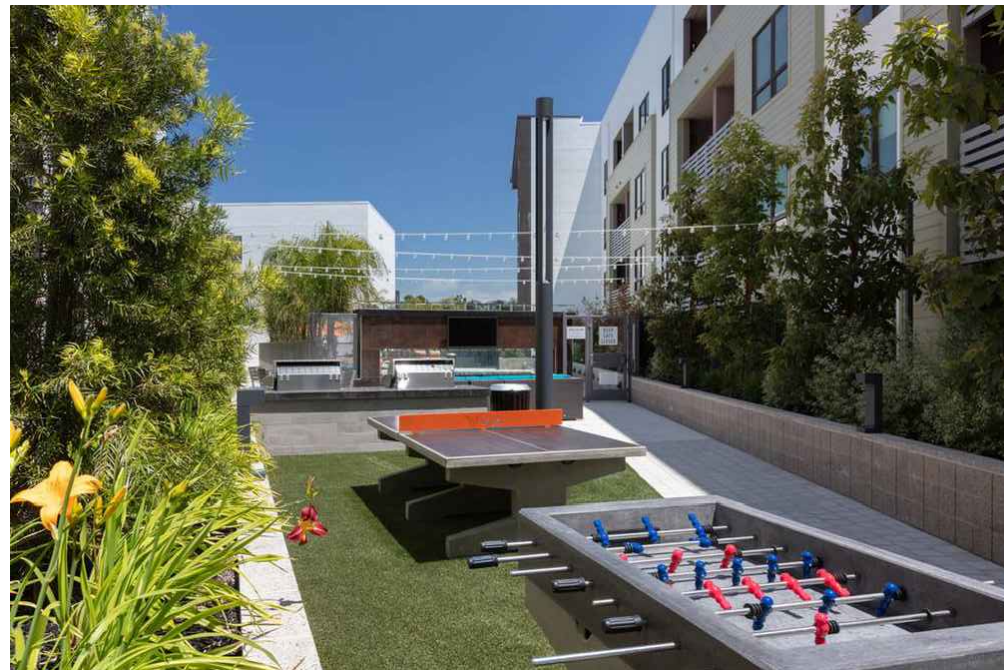
**ARBOR - WAVE ELEMENTS TO COMPLIMENT BUILDING FACADE**



**FIRE FEATURE / TV WALL**



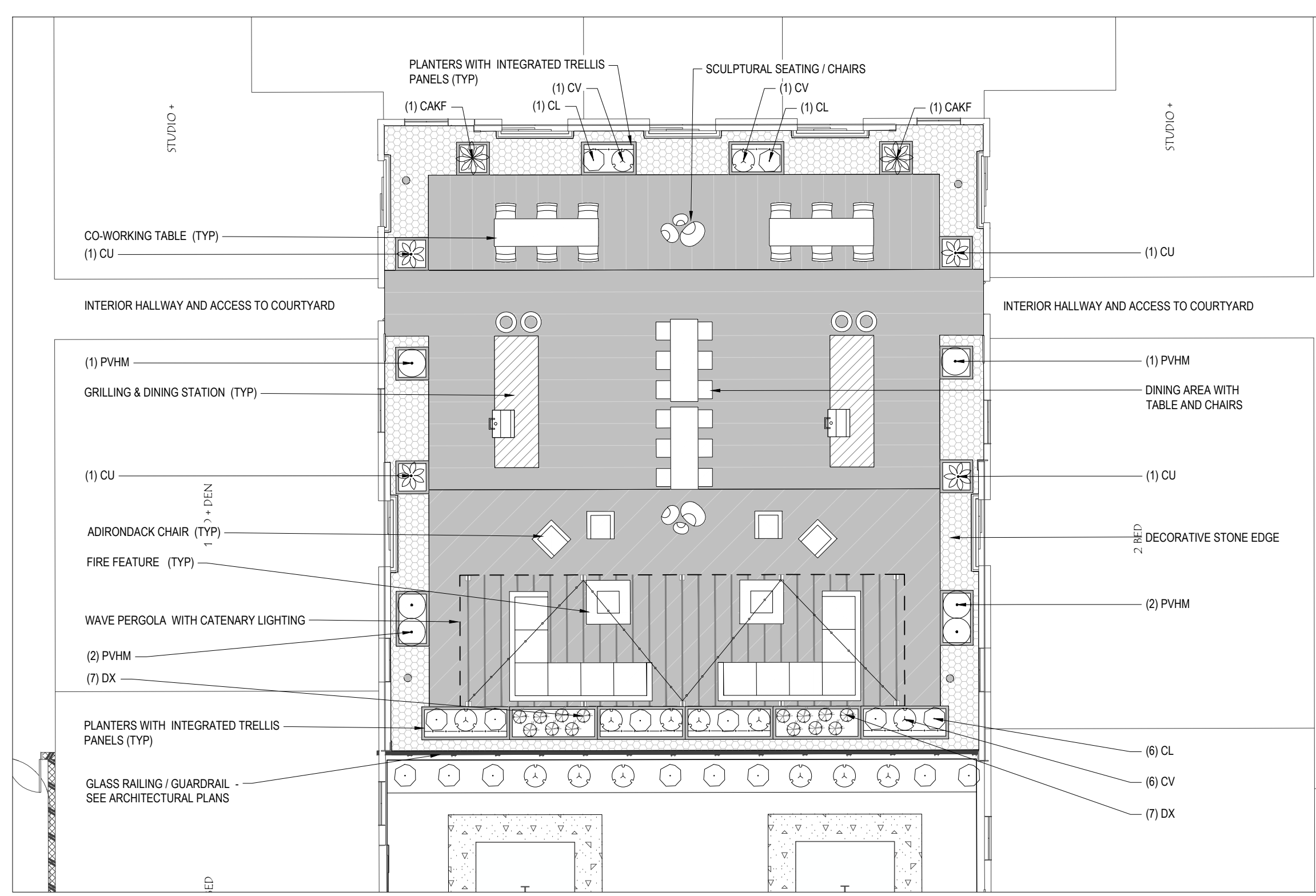
**GLASS RAILING AND PLANTERS**



**OUTDOOR GAME ZONE - FOOSBALL AND PING-PONG TABLE**



**FIRE PIT SEATING**

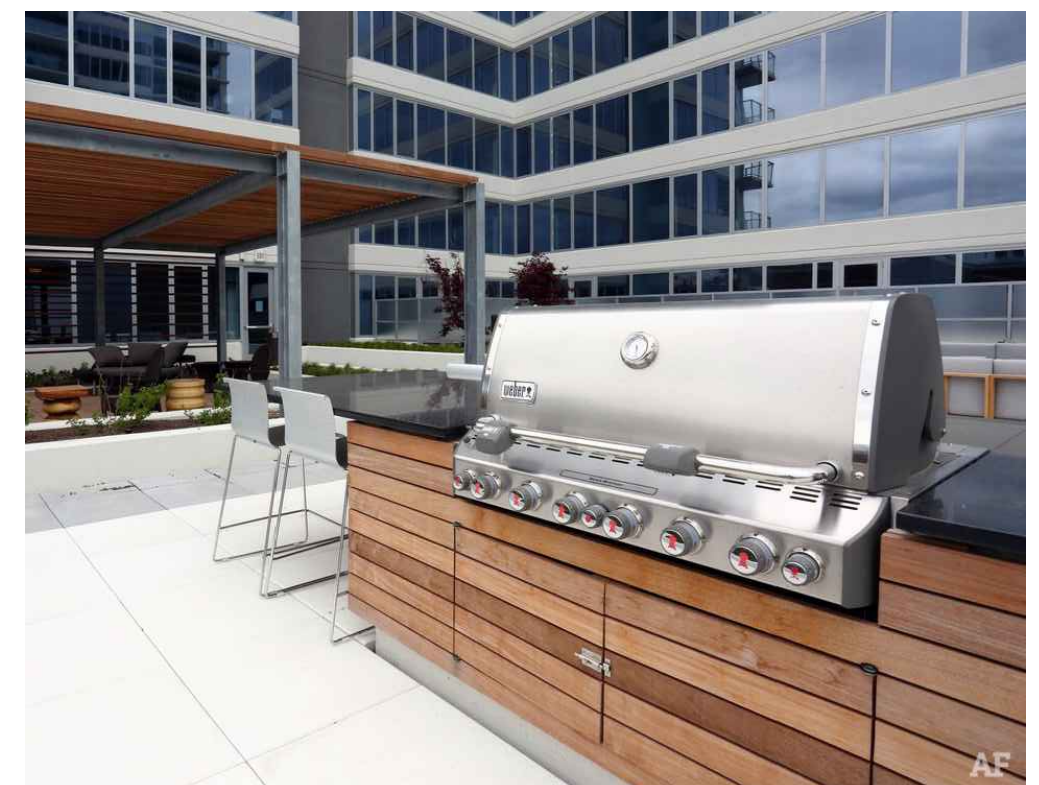


**SOUTH COURTYARD PLAN ENLARGEMENT**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>SHRUBS</b>					
DX	14	DEUTZIA X NCDX1	YUKI SNOWFLAKER DEUTZIA	15-18"	CONTAINER
<b>GRASSES</b>					
CAKF	2	CALAMAGROSTIS X ACUTIFLORA KARL FODERSTER	FEATHER REED GRASS	1 GAL.	CONTAINER
CU	4	CENICHRIS ALOPECUROIDES 'RED HEAD'	RED HEAD FOUNTAIN GRASS	1 GAL.	CONTAINER
PVM	6	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER
<b>VINES</b>					
CL	8	CLEMATIS X FRAGRANT STAR	VANCOUVER® FRAGRANT STAR CLEMATIS	1 GAL.	CONTAINER
CV	8	CLEMATIS X 'VANSO'	BLUE LIGHT® CLEMATIS	1 GAL.	CONTAINER



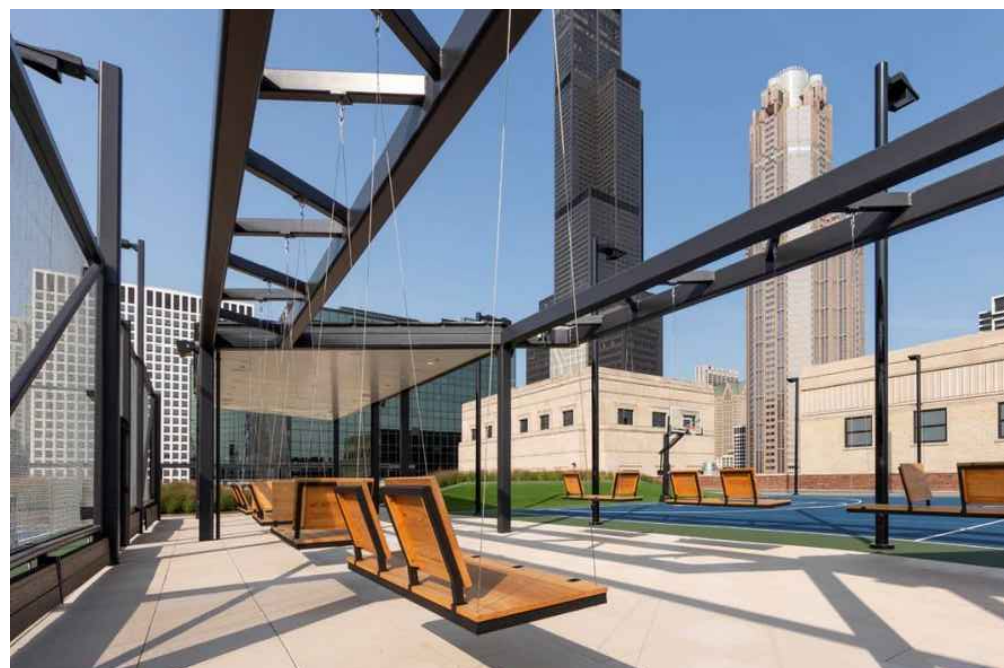
**DECORATIVE STONE PERIMETER EDGE**



**GRILLING / DINING ISLANDS**



**GREEN SCREEN PLANTER WITH CLIMBING VINES**



**BENCH SWING AND ARBOR**

**PRECEDENT IMAGES**



**TABLES, CHAIRS, PLANTERS AND SURFACE MATERIAL**

NOTE: PRECEDENT IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CITY STAFF	DRAWN BY
1	01/08/2025	CITY STAFF COMMENTS	OCR	AJS
2	01/08/2025	ZONING TABLE UPDATES	OCR	AJS

**811**  
 Know what's below.  
 Call before you dig.  
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**ENTITLEMENT SET**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA240356 00-1A  
 DRAWN BY: AJS / MMA  
 CHECKED BY: 12/12/2024  
 DATE: P-CIVIL-LSCP  
 CAD ID:

**SITE DEVELOPMENT PLANS**  
 FOR  
  
**SMC**  
 PROPOSED RESIDENCES AT TABLE TALK SQUARE  
 MAP: 5 | BLK: 5 | LOT: 0003A  
 120 WASHINGTON STREET  
 CITY OF WORCESTER  
 WORCESTER COUNTY  
 MASSACHUSETTS

**BOHLER**  
 352 TURNPIKE ROAD, 3rd FLOOR  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
 www.BohlerEngineering.com



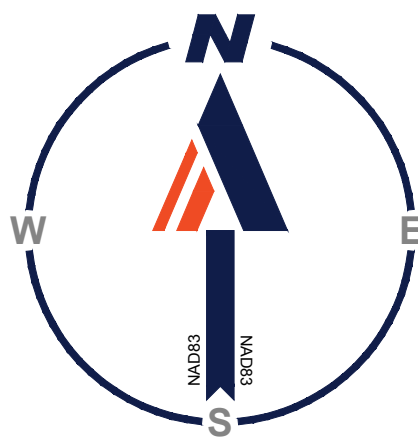
**LANDSCAPE PLAN ENLARGEMENTS**

SHEET NUMBER:  
**L-102**

REVISION 2 - 01/08/2025

I:\BOHLER\NET\SHARES\MAA\PROJECTS\2024\MAA240356\00-1A-L-102-LSCP\CIVIL\LANDSCAPE\PLAN SETS\CIVIL SITE PLAN\BSP-CIVIL-LSCP-MAA240356-00-1A-L-102-LSCP.dwg





**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
W	6	10'-0" AFG	SINGLE	1371	0.900	LITHONIA LIGHTING, WEDGE LED WALL SCONCE, VISUAL COMFORT OPTIC (WEDGEZ LED P1-40K-70CRI-TTS)	-
S	7	7'-0" AFF*	SINGLE	1862	0.900	RAB LIGHTING, COLED LED CYLINDER LUMINAIRE, 50" THROW (COLED60W-20W-50094G-K)	-
S1	4	7'-0" AFF*	SINGLE	1113	0.900	BEGA, WALL LUMINAIRE, NARROW BEAM DOWNWARD (24 034)	-
C	11	10'-0" AFF*	SINGLE	2495	0.900	BEGA, DOWNLIGHT, WIDE BEAM (24 247-K4)	-
B	11	3'-1/2" AFF*	SINGLE	1280	0.900	BEGA, SYSTEM BOLLARD HEAD, SHIELDED 360° (99622)	BEGA, SYSTEM BOLLARD TUBE WITH ACCESS DOOR (99622)
E**	16	-	VARIES	-	-	EXISTING STREET LIGHT FIXTURES	-

\*REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING HEIGHT AND LOCATIONS  
\*\*EXISTING STREET LIGHTS ARE NOT REFLECTED IN PHOTOMETRIC PLAN

**ASH STREET**  
(PUBLIC - 30' WIDE)  
(ONE WAY TRAFFIC)  
(ASPHALT ROADWAY)

**CITY OF WORCESTER, MASSACHUSETTS LIGHTING REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE IV - USE REGULATIONS - SECTION 7 - OFF-STREET PARKING AND LOADING	A. GENERAL PROVISIONS FOR OFF-STREET ACCESSORY PARKING AND LOADING 3. DESIGN STANDARDS ALL LIGHTING USED TO ILLUMINATE ANY OFF-STREET PARKING OR LOADING FACILITY SHALL BE INSTALLED SO THAT DIRECT RAYS FROM SUCH LIGHTING SHALL NOT CAUSE A PUBLIC NUISANCE TO ADJACENT PROPERTY.	PROVIDED

**MASSACHUSETTS LIGHTING NOTES**

(Rev. 8/2023)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING (IF NECESSARY) ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING ANY AND ALL POWER SOURCES(S), AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICE, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

**REVISIONS**

REV	DATE	COMMENT	CHECKED BY
1	01/08/2025	CITY STAFF COMMENTS	OCR
2	01/08/2025	ZONING TABLE UPDATES	OCR



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**ENTITLEMENT SET**

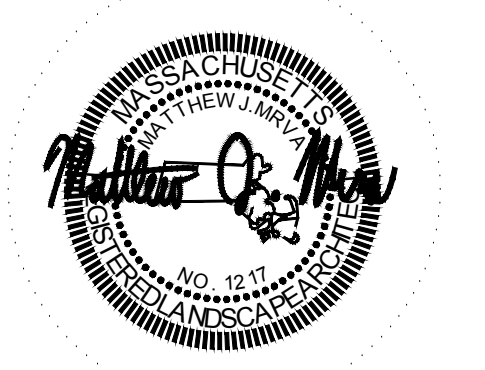
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PROJECT No.: MAA240356-00-1A  
 DRAWN BY: AJS / MMA  
 DATE: 12/22/2024  
 CAD ID: P-CIVIL-LGHT

**SITE DEVELOPMENT PLANS**  
FOR  
**SMC**  
PROPOSED  
**RESIDENCES AT TABLE TALK SQUARE**

MAP: 5 | BLK: 5 | LOT: 0003A  
120 WASHINGTON STREET  
CITY OF WORCESTER  
WORCESTER COUNTY  
MASSACHUSETTS

**BOHLER**  
352 TURNPIKE ROAD, 3rd FLOOR  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)



SHEET TITLE:  
**LIGHTING PLAN**

SHEET NUMBER:  
**L-201**

REVISION 2 - 01/08/2025

**OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION PLANTS. TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN SURFACES OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVEL SURFACES, OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**

**REFER LIGHTING NOTES & DETAILS SHEET FOR LIGHTING NOTES & DETAILS**



WASHINGTON STREET  
(PUBLIC - 40' WIDE)  
(TWO WAY TRAFFIC)  
(ASPHALT ROADWAY)

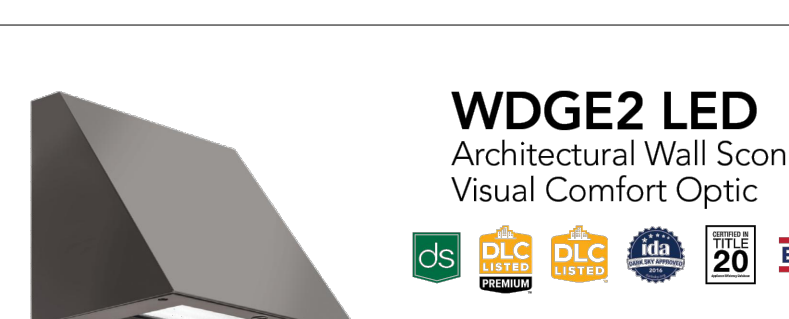
PROP RESIDENTIAL BUILDING  
7 LEVELS  
(185 UNITS)  
(231 PARKING SPACES UNDER)  
(47,260 SAFE ±)  
(REFER TO ARCH PLANS)

SPRUCE STREET

BOHLER ENGINEERING, INC. PROJECT: 2024-001 MAAS240356-00-1A - LAYOUT - L-201 LIGHT



### WDGE2 LED Architectural Wall Sconce Visual Comfort Optic



**Specifications**

Depth (D1): 7"   
 Depth (D2): 1.5"   
 Height: 9"   
 Width: 11.5"   
 Weight: 13.5 lbs (without options)

**Introduction**

The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The down reflector design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embodied with Light-AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-glare light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

**Ordering Information**

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DSDXB

Series	Package	Color Temperature	CR	Structure	Voltage	Mounting	Shipped separately
WDGE2 LED	P1	P1W	27K 2700K	80CRI	VF Visual Comfort optic	MVOLT	AWS 3/8" Inch Architectural wall spacer
	P2	P2W	30K 3000K	90CRI	VF Visual Comfort optic	40"	SRM Surface mounting bracket
	P3	P3W	35K 3500K	90CRI	VF Visual Comfort optic	40"	SRM Surface mounting bracket
	P4	P4W	40K 4000K	90CRI	VF Visual Comfort optic	40"	SRM Surface mounting bracket
	P5	P5W	50K 5000K	90CRI	VF Visual Comfort optic	40"	SRM Surface mounting bracket

**Options**

Code	Description
E4WH	Emergency battery backup, Certified in CA Title 20
E10W	Emergency battery backup, Certified in CA Title 20
E20W	Emergency battery backup, Certified in CA Title 20
FE	Phantom, Barix Type
IS	Dual switching zones with 2 drivers and 2 light outputs, see page 13a for details
DSG	0-10V dimming wires pulled outside fixture for use with an external control system, see page 13a for details
KCE	Bottom conduit entry for back (PWB), Total of 4 entries.
DSLE	Dual Switching (DSW), 2 Light (Engage)
CE	Gas/Contactor

**Standard Sensors/Controls** (only available with P3W & P5W)

**Network Sensors/Controls** (only available with P3W, P5W & P5W)

**Available colors**

- CUS Custom finish
- DALI-2 DALI dimming (8962Z tube only)
- MGU Marine grade undercoat
- RAL RAL finish

**Available options**

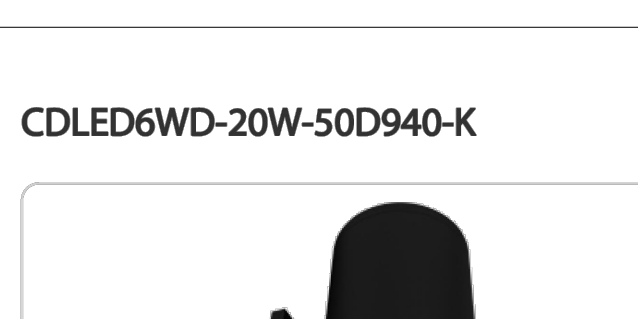
- BRZ Bronze (BRZ)
- WHT White (WHT)
- CUS Custom finish
- MGU Marine grade undercoat
- RAL RAL finish

**System bollard head - Shielded 360°**

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

### CDLED6WD-20W-50D940-K



**Technical Specifications**

**Compliance**

UL Listed: Suitable for wet locations

**Performance**

LifeSpan: 50,000-Hour LED lifespan based on ES LM-80 results and TM-21 calculations

**LED Characteristics**

**Color Stability:** LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

**Construction**

**Cold Weather Starting:** The minimum starting temperature is -30°C (-22°F)

**Power Factor:** 98.6% at 120V, 89.7% at 277V

**Optical**

Optics: 50°

**Dimming Driver:** 0-10V (at 120V/277V), TRIAC and ELV (at 120V only)

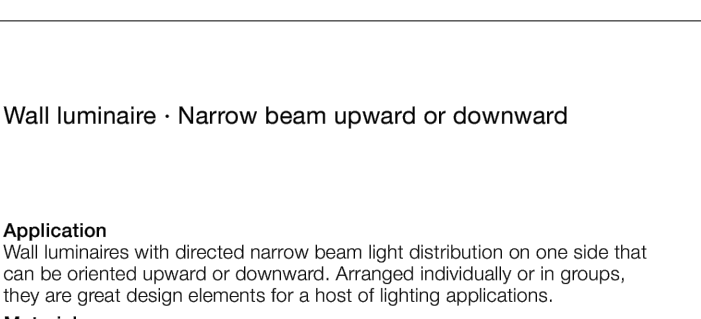
**THD:** 12% at 120V, 19.4% at 277V

**Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com**

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

### Wall luminaire - Narrow beam upward or downward



**Application**

Wall luminaires with directed narrow beam light distribution on one side that can be oriented upward or downward. Arranged individually or in groups, they are great design elements for a host of lighting applications.

**Materials**

Clear safety glass  
Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Mechanically captive stainless steel fasteners  
High temperature silicone gasket  
Pure anodized aluminum reflector

**Electrical**

Operating voltage: 120-277V AC  
Minimum start temperature: -30°C  
LED module wattage: 12.1W  
System wattage: 14.0W  
Controlability: 0-10V TRIAC, and ELV dimmable  
Color rendering index: Ra > 80  
Luminaire lumens: 1113lm  
LED service life (L70): 60000hrs

**Available options**

- CUS Custom finish
- FSC Fusing
- MGU Marine grade undercoat
- RAL RAL finish

**Available accessories**

- BT8647 Surface mounted wiring box

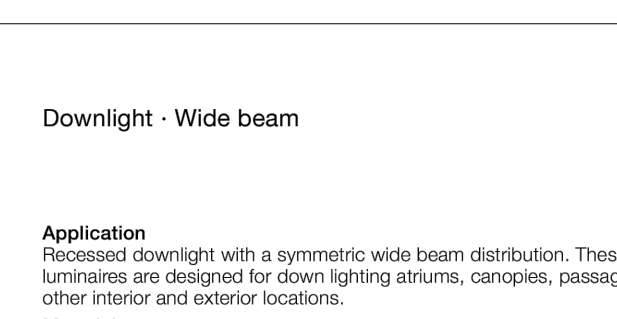
**Included (available for pre-shipment)**

- BT19637 Narrow opening wiring box

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

### Downlight - Wide beam



**Application**

Recessed downlight with a symmetric wide beam distribution. These luminaires are designed for down lighting atriums, canopies, passages, and other interior and exterior locations.

**Materials**

Clear safety glass  
Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Silicone applied robotically to casting, plasma treated for increased adhesion  
Stainless steel screw clamp  
High temperature silicone gasket  
Galvanized steel rough in ceiling pan with through wiring junction box  
Silicone optic with excellent high temperature and UV stability  
BEGA Hybrid Optics®  
Pure anodized aluminum reflector surface

**Electrical**

Operating voltage: 120-277V AC  
Minimum start temperature: -20°C  
LED module wattage: 24.1W  
System wattage: 28.0W  
Controlability: 0-10V dimming down to 1%  
Color rendering index: Ra > 90  
Luminaire lumens: 2400lm  
LED service life (L70): 60000hrs

**LED color temperature**

- 4000K (K4)
- 3500K (K5)
- 3000K (K3)
- 2700K (K2)

**Available colors**

- Black (BLK)
- Silver (SLV)
- RAL
- Bronze (BRZ)
- White (WHT)
- CUS

**Included (available for pre-shipment)**

- CP24269 Ceiling pan

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

## LITHONIA WDGE2 LED ARCHITECTURAL WALL SCONCE

## RAB CDLED LED CYLINDER LUMINAIRE

## BEGA WALL LUMINAIRE NARROW BEAM DOWNWARD

## BEGA DOWN LIGHT WIDE BEAM

**System bollard head - Shielded 360°**

**BEGA**

**Application**

BEGA system bollard head with shielded 360° light distribution. Simply order the bollard head and also the required bollard tube in various heights and options. Both modules can be joined together easily and quickly during the installation.

**Materials**

Clear safety glass  
Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Pure anodized aluminum reflector surface  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP 65  
Weight: 0.4 lbs.

**Electrical**

Operating voltage: 120-277V AC  
Minimum start temperature: -30°C  
LED module wattage: 16.8W  
System wattage: 19.8W  
Controlability: 0-10V dimmable  
Color rendering index: Ra > 80  
Luminaire lumens: 1260lm  
LED service life (L70): 60000hrs

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unikuro® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

**Available colors**

- Black (BLK)
- Silver (SLV)
- RAL
- Bronze (BRZ)
- White (WHT)
- CUS

**Available options**

- CUS Custom finish
- DALI-2 DALI dimming (8962Z tube only)
- MGU Marine grade undercoat
- RAL RAL finish

**System bollard head - Shielded 360°**

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

**System bollard tube - With access door**

**BEGA**

**Application**

BEGA system bollard luminaire tube without components. BEGA system bollard tubes are designed for easy attachment to system bollard heads using an interlocking mechanism. An accompanying bollard head must be selected for proper installation.

**Materials**

Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Extruded aluminum  
Die-cast aluminum  
Mechanically captive stainless steel fasteners  
Interlocking stainless steel mounting mechanism for attachment of head and tube  
Pre-wired with 5-pole plug-in connectors for ease of installation  
Galvanized steel anchorage  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP 65  
Weight: 13.0 lbs.

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unikuro® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

**Available colors**

- Black (BLK)
- Silver (SLV)
- RAL
- Bronze (BRZ)
- White (WHT)
- CUS

**Available options**

- 70896 Direct burial anchorage (replaces included anchorage kit, pre-shipment)
- CUS Custom finish
- MGU Marine grade undercoat
- RAL RAL finish

**Included (available for pre-shipment)**

- BT9818 Anchorage kit

**System bollard tube - With access door**

**BEGA**

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

## BEGA SYSTEM BOLLARD HEAD - SHIELDED 360°

## BEGA SYSTEM BOLLARD TUBE WITH ACCESS DOOR



**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

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REVISIONS					
REV	DATE	COMMENT	CITY STAFF COMMENTS	ZONING TABLE UPDATES	DRAWN BY
1	01/06/2025				OCR
2	01/08/2025				OCR
					AJS
					OCR
					AJS



**811**

Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

## ENTITLEMENT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA240356.00-1A  
 DRAWN BY: OCR  
 CHECKED BY: AJS / MMA  
 DATE: 12/12/2024  
 CAD ID: P-CIVL-LGHT

**SITE DEVELOPMENT PLANS FOR**

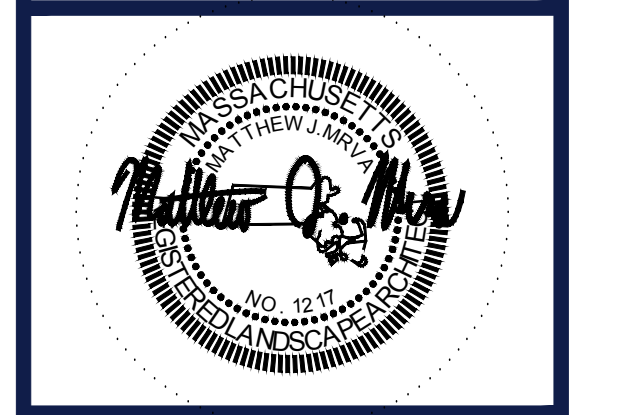


**PROPOSED RESIDENCES AT TABLE TALK SQUARE**

MAP: 5 | BLK: 5 | LOT: 0003A  
 120 WASHINGTON STREET  
 CITY OF WORCESTER  
 WORCESTER COUNTY  
 MASSACHUSETTS

**BOHLER**

352 TURNPIKE ROAD, 3rd FLOOR  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
 www.BohlerEngineering.com



Professional Engineer Seal for Matthew D. Moran, License No. 1210, State of Massachusetts.

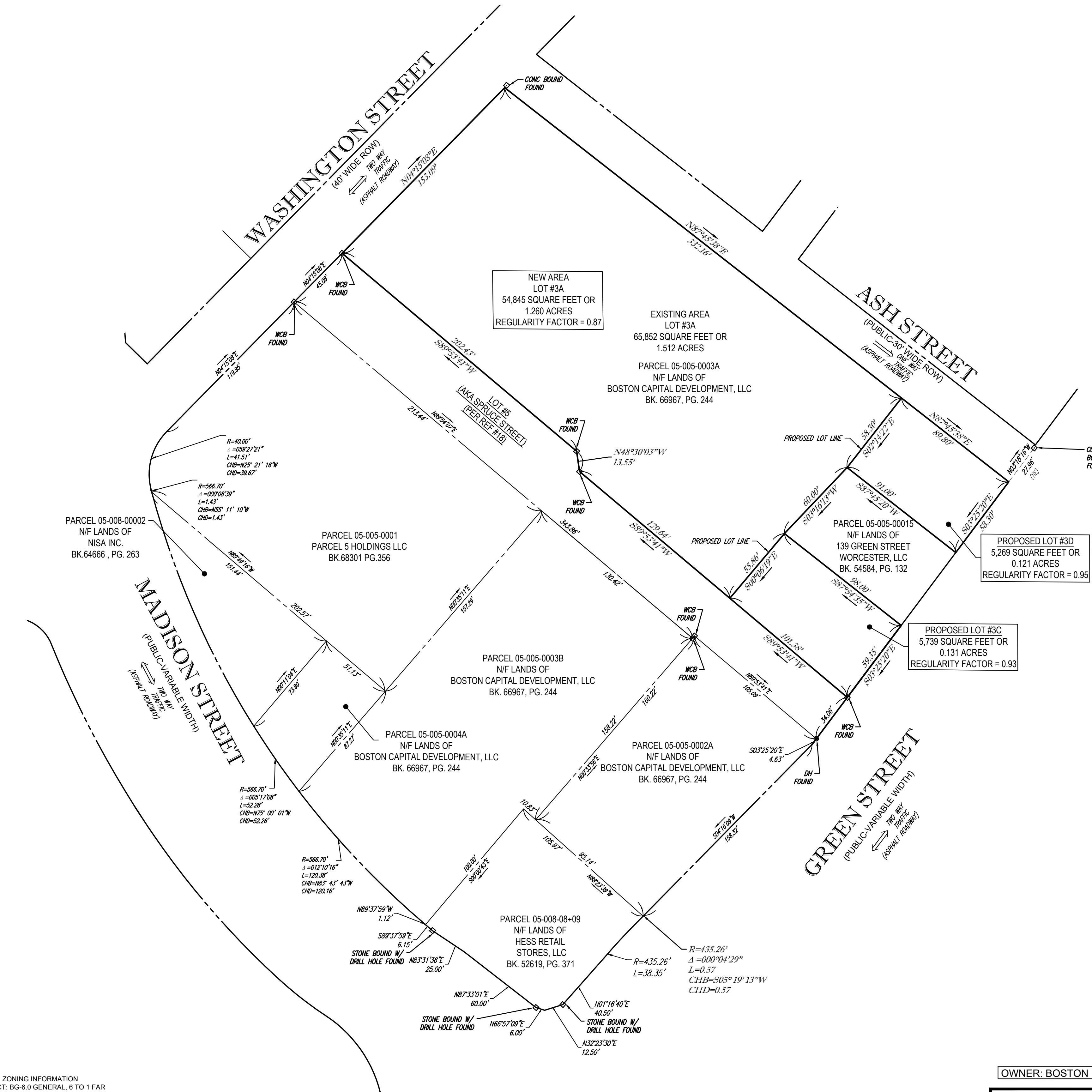
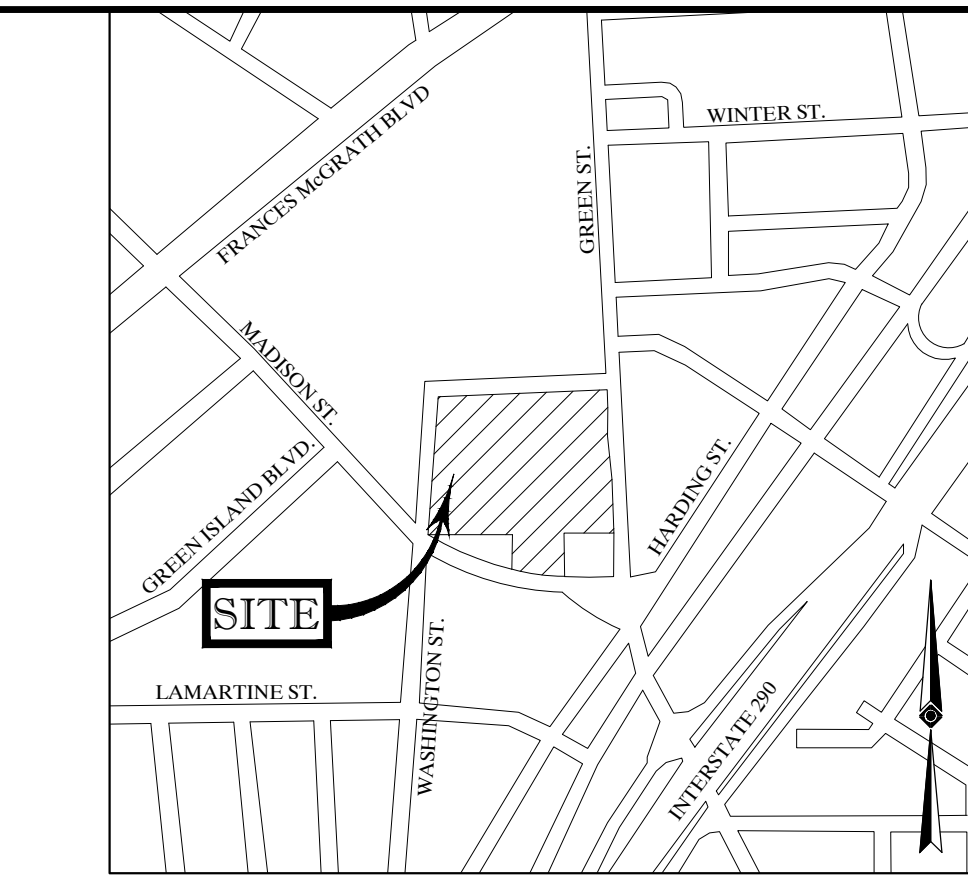
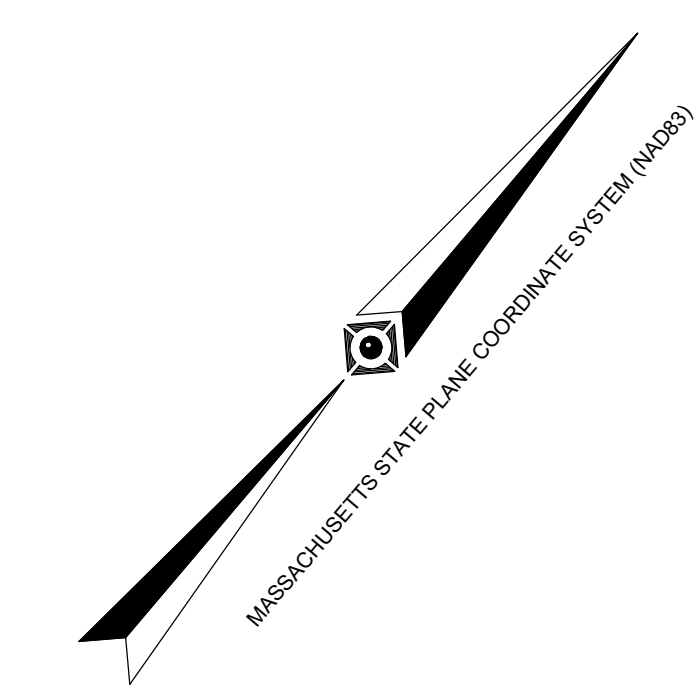
SHEET TITLE:  
**LIGHTING NOTES & DETAILS**

SHEET NUMBER:  
**L-202**

REVISION 2 - 01/08/2025

I:\BOHLER\NET\SHARES\MAA-PROJECTS\2024\MAA240356.00\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-LGHT\MAA240356.00-1A-LAYOUT\_L-202\_LGHT NOTE

FOR REGISTRY USE ONLY



- NOTES:
- PROPERTY KNOWN AS PARCEL 05-005-0003A AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
  - AREA: EXISTING PARCEL 05-005-0003A = 65,852 SQUARE FEET OR 1.512 ACRES  
NEW AREA LOT 3A = 54,845 SQUARE FEET OR 1.260 ACRES  
PROPOSED LOT 3C = 5,739 SQUARE FEET OR 0.131 ACRES  
PROPOSED LOT 3D = 5,269 SQUARE FEET OR 0.121 ACRES
  - THE PURPOSE OF THIS PLAN IS TO CREATE LOTS 3C & 3D FROM EXISTING LOT 3A PARCEL 05-005-0003A AS SHOWN HEREON.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

- REFERENCES:
- THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075," COMMUNITY-PANEL NUMBER 250270018E, EFFECTIVE DATE: JULY 4, 2011.
  - MAP ENTITLED "ALTANSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY," MADISON STREET, WASHINGTON STREET, GOLD STREET & ASSONET STREET, PARCELS 05-010-00001, 05-009-00019, 05-009-00014, 05-009-00005, 05-007-00004, 05-007-00003, 05-006-00013, 05-004-00027, 05-004-03+04, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019, 8 SHEETS.
  - MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953, RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
  - MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETTS, WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILLBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMON, LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY WBL, DATED JUNE 5, 2019, PROJECT NO. 609226, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 943, PLAN 56.
  - MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978, RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
  - WASHINGTON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - UTILITIES MAP PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS.
  - MAP ENTITLED "EXISTING CONDITIONS PLAN, WYMAN-GORDON COMPANY, PORTIONS OF WASHINGTON STREET, ASH STREET, SUMMIT STREET, GOLD STREET, PLYMOUTH STREET & GREEN STREET, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED OCTOBER 24, 2019, LAST REVISED DECEMBER 8, 2020, TWO SHEETS.
  - SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842
  - MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2022, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91.
  - MAP ENTITLED "CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.
  - MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY & THORNDIKE, DATED JANUARY 1983, SHEET 8 OF 47, FILED WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - MAP ENTITLED "CONDOMINIUM SITE PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 120 WASHINGTON STREET, A PORTION OF PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 12, 2022, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 966, PLAN 96.
  - MAP ENTITLED "TAKING AND LAYOUT PLAN, SPRUCE STREET, STATION 0+0 TO STATION 4+46.28, PARCEL 05-005-0005A, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED AUGUST 10, 2024, LAST REVISED OCTOBER 21, 2024, TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
CITY OF WORCESTER PLANNING BOARD

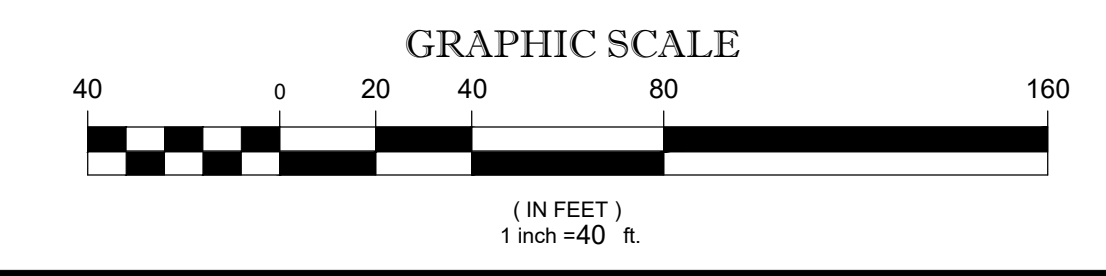
CHAIRMAN \_\_\_\_\_  
DATE \_\_\_\_\_

ZONING INFORMATION  
DISTRICT: BG-6.0 GENERAL, 6 TO 1 FAR  
OVERLAY DISTRICT: CCOD-D, DOWNTOWN PARKING SUBAREA  
SOURCE: CITY OF WORCESTER ZONING MAP  
AMENDED AUGUST 7, 2024

ITEMS	REQUIRED
MIN LOT AREA	5,000 S.F.
MIN FRONTAGE	40 FT.
MIN FRONT YARD	N/A
MIN SIDE YARD	N/A
MIN REAR YARD	10 FT.
MAX BUILDING HEIGHT	N/A

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

- LEGEND
- WCB WORCESTER COUNTY BOUND
  - MONUMENTS FOUND
  - S.F. SQUARE FEET
  - FT. FEET



OWNER: BOSTON CAPITAL DEVELOPMENT, LLC.

THIS IS TO CONFIRM THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS. NO NEW RIGHT OF WAY LINES ARE BEING CREATED AND THOSE SHOWN ARE EXISTING AND ARE NOT BEING CHANGED OR ALTERED.

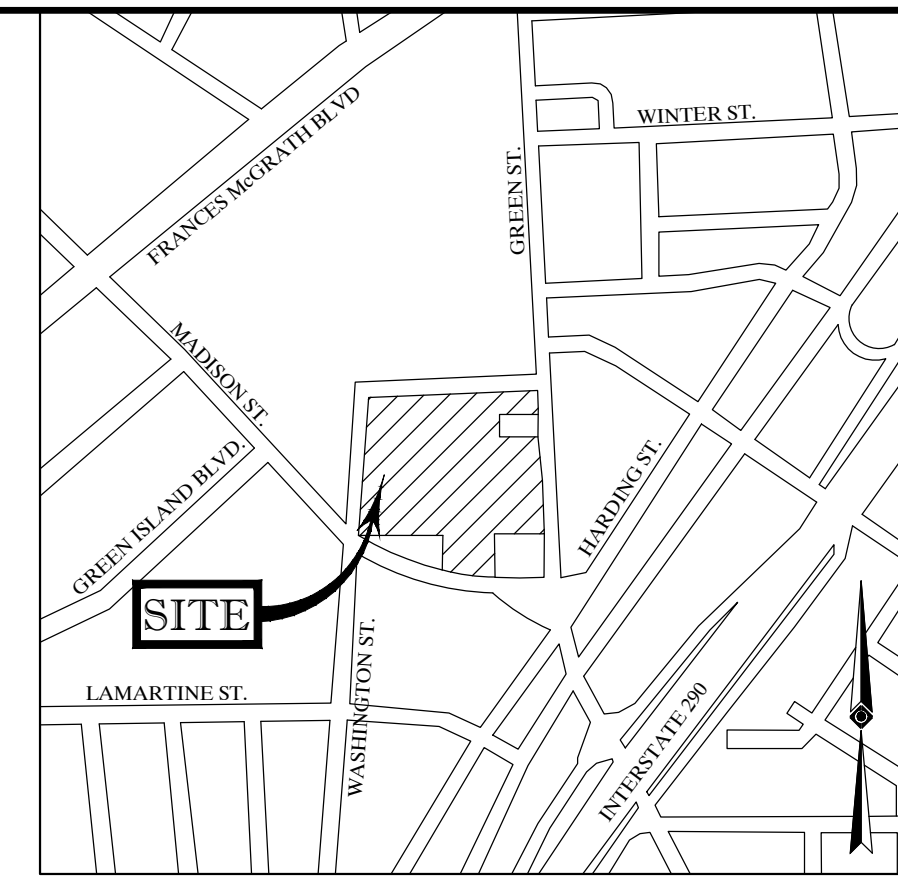
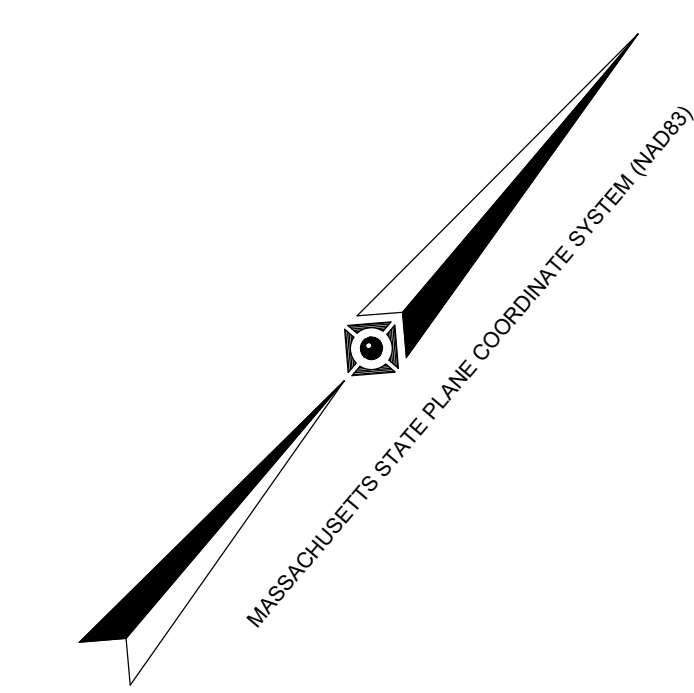


GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

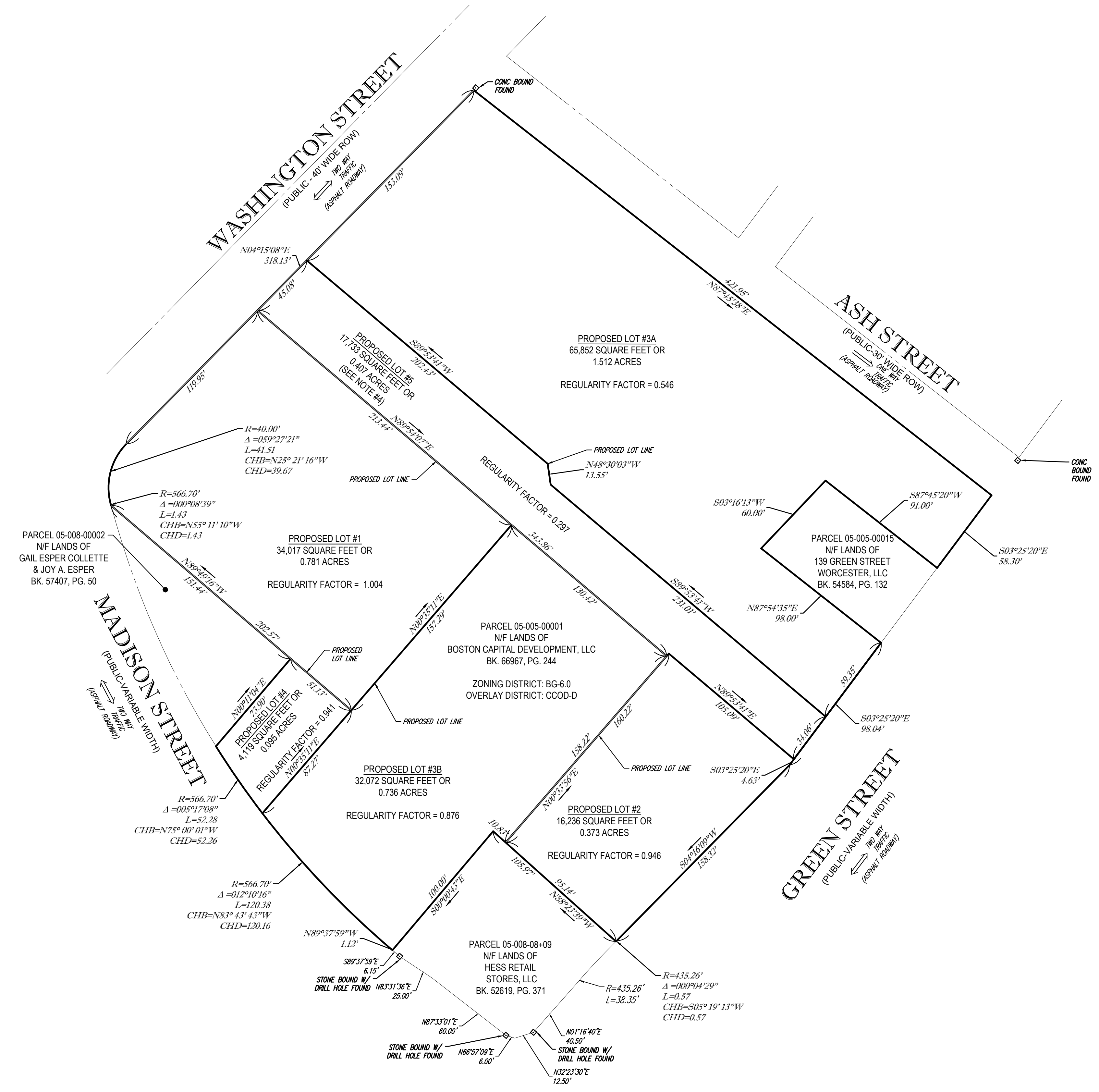
1	ADD NEW LOT AREA FOR LOT 3A	N/A	G.R.D.	G.L.H.	12-12-2024
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	N/A	APPROVAL NOT REQUIRED PLAN OF LAND BOSTON CAPITAL DEVELOPMENT, LLC			
FIELD BOOK NO.	N/A	120 WASHINGTON STREET			
FIELD BOOK PG.	N/A	PARCEL 05-005-0003A			
FIELD CREW	N/A	CITY OF WORCESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS			
DATE	12-12-2024	CONTROL POINT ASSOCIATES, INC.			
DRAWN	G.R.D.	352 TURNPIKE ROAD SOUTH BOKROK, MA 01772 508.948.5000 - 508.948.3003 FAX			
APPROVED	G.L.H.	DATE	SCALE	FILE NO.	DWG. NO.
		12-11-2024	1" = 40'	03-200266-01	1 OF 1

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR COPY OF THIS PLAN IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. IT IS PROHIBITED TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

FOR REGISTRY USE ONLY



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS



- NOTES:
- PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
  - AREA: EXISTING PARCEL 05-005-00001 = 170,029 SQUARE FEET OR 3.904 ACRES  
 PROPOSED PARCEL 1 = 34,017 SQUARE FEET OR 0.781 ACRES  
 PROPOSED PARCEL 2 = 16,236 SQUARE FEET OR 0.373 ACRES  
 PROPOSED PARCEL 3A = 65,852 SQUARE FEET OR 1.512 ACRES  
 PROPOSED PARCEL 3B = 32,072 SQUARE FEET OR 0.736 ACRES  
 PROPOSED PARCEL 4 = 4,119 SQUARE FEET OR 0.095 ACRES  
 PROPOSED PARCEL 5 = 17,733 SQUARE FEET OR 0.407 ACRES  
 TOTAL = 170,029 SQUARE FEET OR 3.904 ACRES
  - THE PURPOSE OF THIS PLAN IS TO CREATE THE LOTS SHOWN HEREON FROM EXISTING PARCEL 05-005-00001.
  - PROPOSED PARCEL #5 IS A NON-BUILDABLE LOT, AND RESERVED FOR FUTURE ROADWAY PURPOSES.
  - SUBJECT PROPERTY IS LOCATED WHOLLY WITHIN THE COMMERCIAL CORRIDOR OVERLAY DISTRICT (CCOD-D).

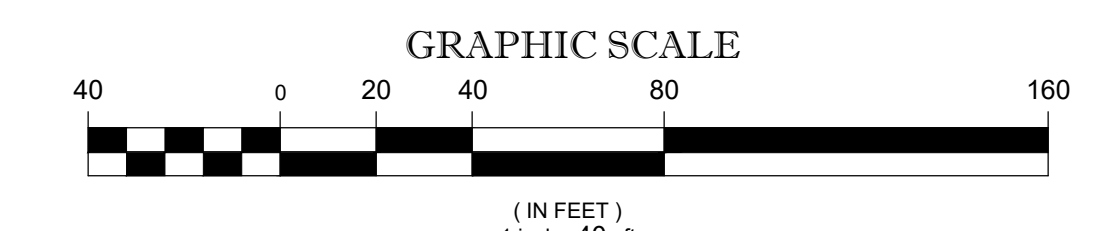
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  - MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - MAP ENTITLED "BOUNDARY & LOCATION SURVEY, TABLE TALK PIES, INC., 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 22, 2020.

APPLICANT  
 BOSTON CAPITAL DEVELOPMENT, LLC  
 11 BEACON STREET, SUITE 325  
 BOSTON, MA 02108

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
 CITY OF WORCESTER PLANNING BOARD

CHAIRMAN \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DATE \_\_\_\_\_

THE PLANNING BOARD'S ENDORSEMENT OF THE PLAN AS NOT REQUIRING APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT A DETERMINATION AS TO THE CONFORMANCE WITH THE CITY OF WORCESTER ZONING BYLAW AND REGULATIONS.



THIS IS TO CONFIRM THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS. NO NEW RIGHT OF WAY LINES ARE BEING CREATED AND THOSE SHOWN ARE EXISTING AND ARE NOT BEING CHANGED OR ALTERED.

FIELD DATE	09-14-2020	APPROVAL NOT REQUIRED PLAN OF LAND			
FIELD BOOK NO.	20-11 MA	BOSTON CAPITAL DEVELOPMENT, LLC			
FIELD BOOK PG.	64	153 GREEN STREET			
FIELD CREW	J.D.O.	CITY OF WORCESTER, WORCESTER COUNTY			
DRAWN	R.J.K.	COMMONWEALTH OF MASSACHUSETTS			
REVIEWED	G.L.H.	DATE	4-4-2022	SCALE	1" = 40'
APPROVED	G.L.H.	DATE	4-4-2022	FILE NO.	03-200266
				DWG. NO.	1 OF 1

GERRY L. HOLDRIGHT, PLS  
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

**CONTROL POINT ASSOCIATES, INC.**  
 352 TURNPIKE ROAD  
 SOUTH BROOKFIELD, MA 01772  
 508.948.3000 - 508.948.3003 FAX

ALBANY, NY 5183175010  
 CHALFONT, PA 3157129800  
 MANHATTAN, NY 6467800411  
 MILL LAUREL, NJ 6098572999  
 WARREN, NJ 9086680999

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR REVISIONS ARE THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

NOTES:

- 1. PROPERTY KNOWN AS A PORTION OF PARCEL 05-005-0003A AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
2. LOT 3A AREA = 65,852 SQUARE FEET OR 1.512 ACRES
PROPOSED LOT 3C AREA = 5,738 SQUARE FEET OR 0.131 ACRES±
PROPOSED LOT 3D AREA = 5,269 SQUARE FEET OR 0.121 ACRES±

3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

4. THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR). INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON. CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.

5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS IMPORTANT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO CONVEYANCE AND THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY. BOUNDARY AND EASEMENT LINES ARE BASED UPON AVAILABLE DOCUMENTATION AT THE TIME OF SURVEY AND ARE SUBJECT TO SAID TITLE REPORT.

THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.

THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

7. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).

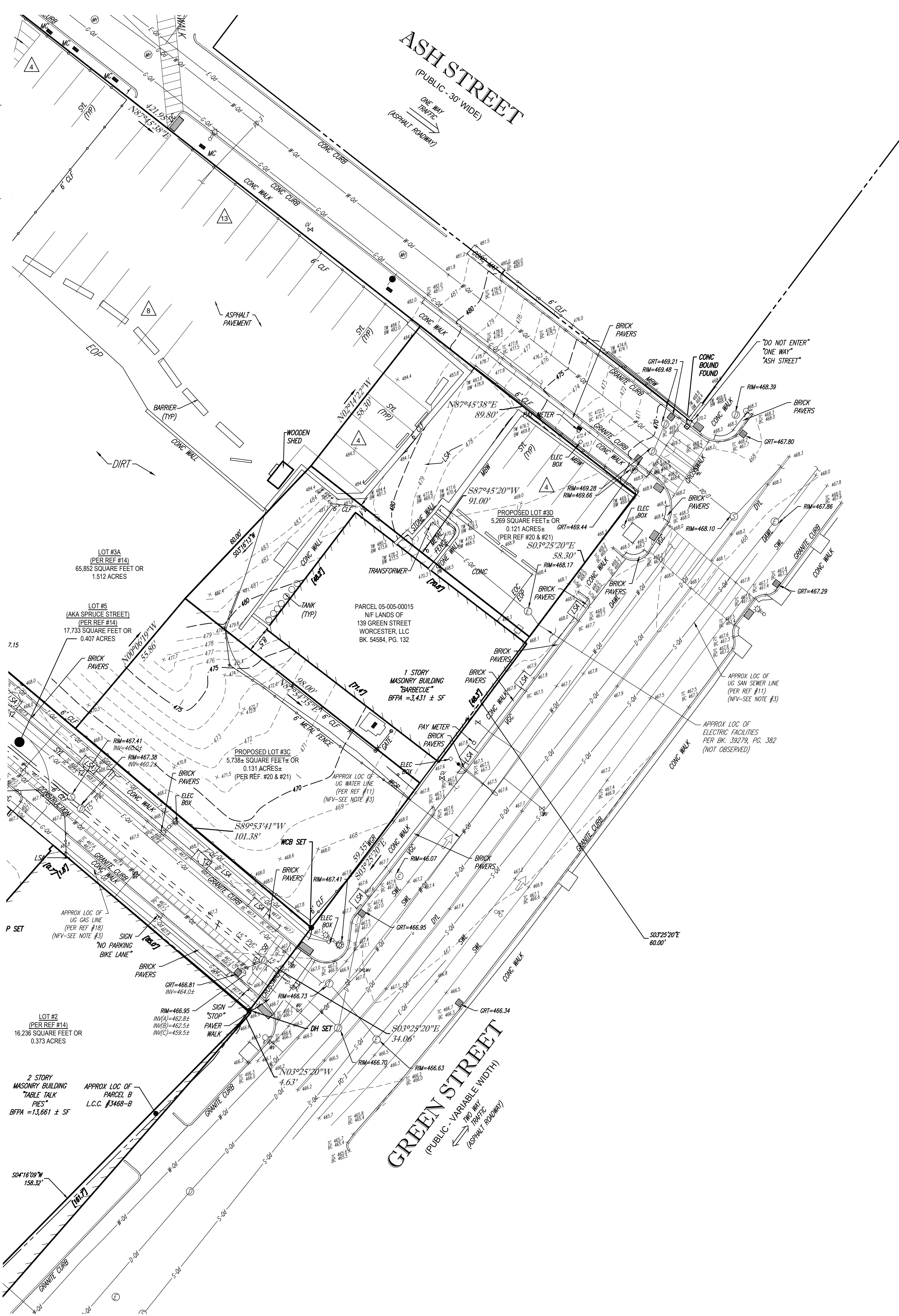
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

10. ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.

11. THIS SURVEY WAS PREPARED FOR THE CLIENT, BOSTON CAPITAL DEVELOPMENT PARTNERS, LLC, AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.

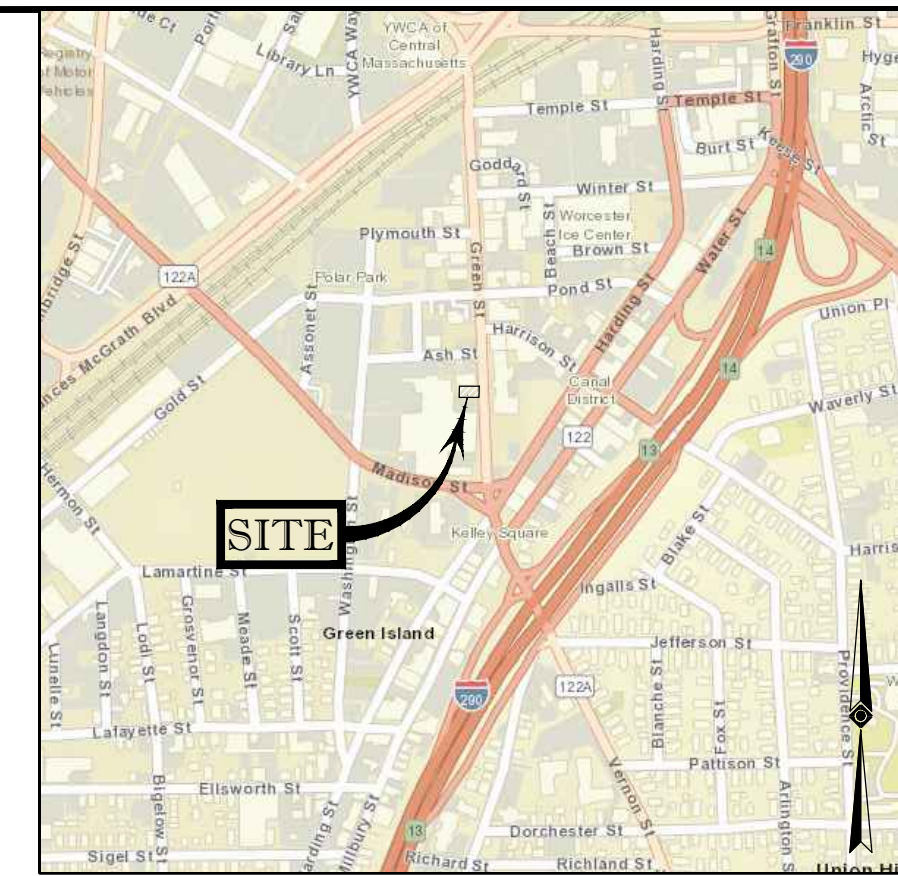
REFERENCES:

- 1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075; COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011.
3. MAP ENTITLED "ALTANSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON STREET, GOLD STREET & ASSONET STREET, PARCELS 05-010-00001, 05-009-00019, 05-009-00014, 05-009-00009, 05-007-0004, 05-007-0003, 05-009-00013, 05-003-00017, 05-003-00014, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019. 8 SHEETS.
4. MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
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6. MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
7. WASHINGTON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
8. MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
9. GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
10. ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
11. UTILITIES MAP PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS.
12. MAP ENTITLED "EXISTING CONDITIONS PLAN, WYMAN-GORDON COMPANY, PORTIONS OF WASHINGTON STREET, ASH STREET, SUMMIT STREET, GOLD STREET, PLYMOUTH STREET & GREEN STREET, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY VNB, DATED OCTOBER 24, 2019. LAST REVISED DECEMBER 8, 2020. TWO SHEETS.
13. SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842
14. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91.
15. MAP ENTITLED "CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.
16. MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY & THORNDIKE, DATED JANUARY 1983, SHEET # OF 47, FILED WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
17. MAP ENTITLED "CONDOMINIUM SITE PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 120 WASHINGTON STREET, A PORTION OF PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 12, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 966, PLAN 96.
18. CIVIL CAD FILE PROVIDED BY BOHLER ENGINEERING.
19. ZONING REPORT PROVIDED BY SEDERLAW ATTORNEYS, DATED SEPTEMBER 28, 2022.
20. MAP ENTITLED "PROPOSED LOT LINE EXHIBIT FOR TREMONT DEVELOPMENT PARTNERS LLC," PROVIDED BY BOHLER, DATED NOVEMBER 12, 2024.
21. CAD FILE PROVIDED BY BOHLER ENTITLED "P-GNRE-PROP-MAA240356.00-0A," RECEIVED DECEMBER 9, 2024.



LEGEND

- 124- EXISTING CONTOUR
-125- EXISTING SPOT ELEVATION
X 123.45 EXISTING TOP OF CURB ELEVATION
X 123.45 EXISTING TOP OF WALL ELEVATION
X 123.45 EXISTING BOTTOM OF WALL ELEVATION
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
HYDRANT
WATER VALVE
UNKNOWN VALVE
GAS VALVE
GAS METER
ELECTRIC METER
OVERHEAD WIRES
APPROX. LOC. UNDERGROUND GAS LINE
APPROX. LOC. UNDERGROUND ELECTRIC LINE
APPROX. LOC. UNDERGROUND CABLE LINE
APPROX. LOC. UNDERGROUND DRAINAGE LINE
APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
APPROX. LOC. UNDERGROUND WATER LINE
UTILITY POLE
GUY WIRE
STREET LIGHT
AREA LIGHT
CLEAN OUT
SIGN
BOLLARD
U-BOLLARD
POST
PAINTED ARROWS
DRAINAGE/STORM MANHOLE
ELECTRIC MANHOLE
SANITARY/SEWER MANHOLE
TELEPHONE MANHOLE
UNKNOWN MANHOLE
CATCH BASIN OR INLET
TREE & TRUNK SIZE
CHAIN LINK FENCE
DEPRESSED CURB
EDGE OF CONCRETE
EDGE OF PAVEMENT
UNDER GROUND
LANDSCAPED AREA
METAL COVER
TYPICAL
SOLID WHITE LINE
DOUBLE YELLOW LINE
HEIGHT
DASHED YELLOW LINE
BUILDING
BUILDING FOOTPRINT AREA
ELEVATION
POLYVINYL CHLORIDE PIPE
HIGH DENSITY POLYETHYLENE PIPE
CAST IRON PIPE
INVERT ELEVATION
GRATE ELEVATION
OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
SUBSURFACE UTILITY QUALITY LEVEL D
WORCESTER COUNTY BOUND

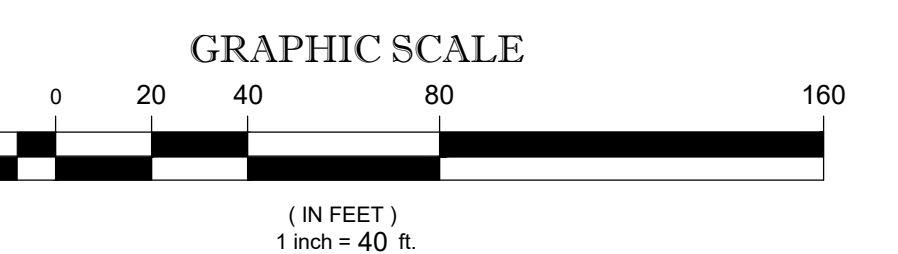


LOCUS MAP NOT TO SCALE

ZONING INFORMATION
BUSINESS GENERAL (BG-6.0) DISTRICT & COMMERCIAL CORRIDORS OVERLAY DISTRICT, DOWNTOWN SUBAREA (CCOD-D)
SOURCE: LOCAL COUNCIL ZONING OPINION PREPARED BY EASTERN BANK, PROVIDED ON SEPTEMBER 23, 2022. (PER REF. #19)

Table with 3 columns: ITEMS, REQUIRED BG-6.0, REQUIRED CCOD-D. Rows include MIN LOT AREA, MIN FRONTAGE, MIN FRONT YARD, MIN SIDE YARD, MIN REAR YARD, MAX BUILDING HEIGHT, MAX FLOOR TO AREA RATIO, MIN PARKING REQUIRED.

ARTICLE IV, SECTION 2 OF THE ZONING ORDINANCE, AT TABLE 4.1, RESIDENTIAL USE #10, PROVIDES THAT A DWELLING, MULTI-FAMILY, HIGH-RISE IS PERMITTED AS OF RIGHT IN BOTH THE BG-6.0 AND CCOD-D ZONING DISTRICTS.



CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PRODUCT OR THE PURPOSE ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

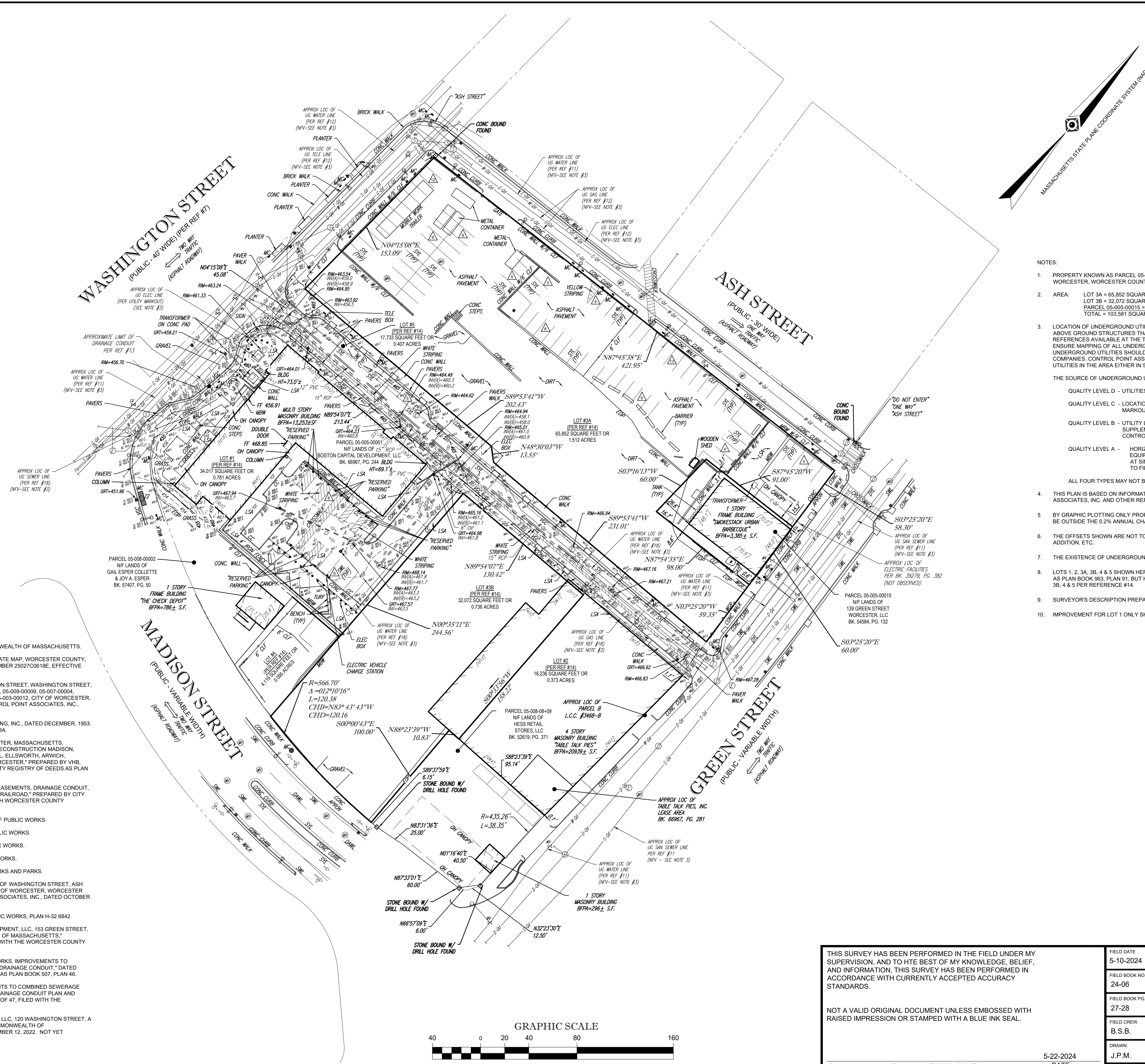
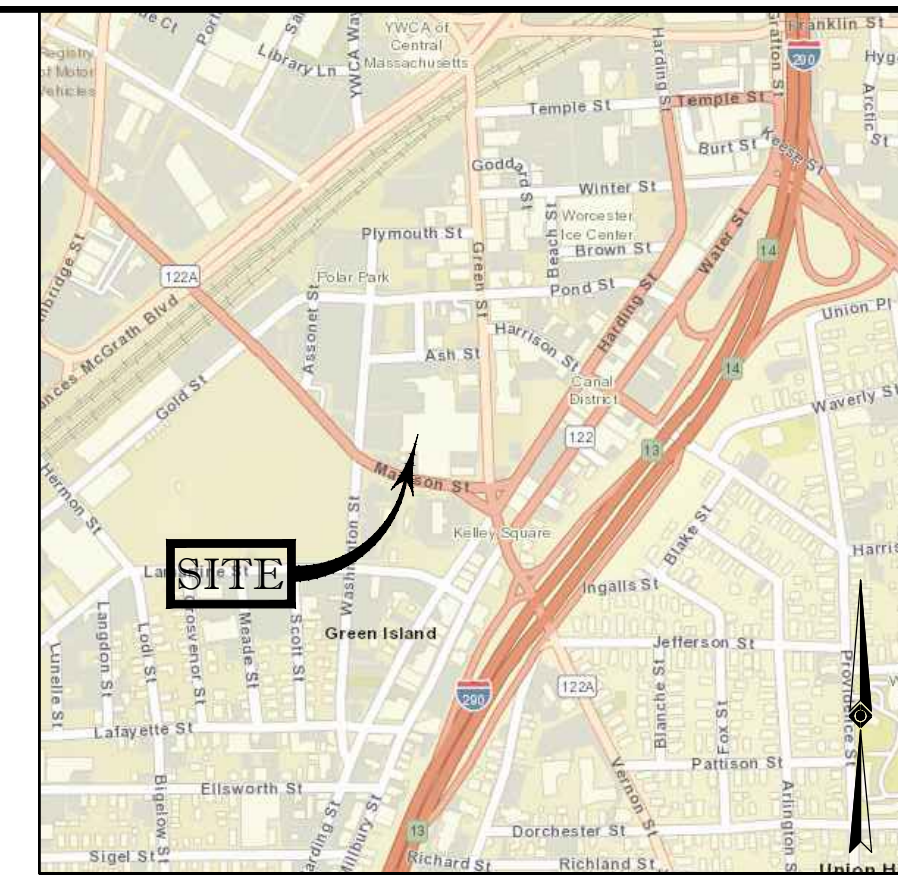
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PROGRESS PRINT stamp with date 12-09-2024 and signature area for GERRY L. HOLDRIGHT, PLS. MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211.

Project information block including FIELD DATE (12-05-2024), FIELD BOOK NO (24-13MA), FIELD BOOK PG (17-19), FIELD CREW (C.W.), DRAWN (G.R.D.), REVIEWED (R.J.K.), APPROVED (G.L.H.), DATE (12-09-2024), SCALE (1" = 40'), FILE NO (03-200266-01), and DWG NO (1 OF 1).

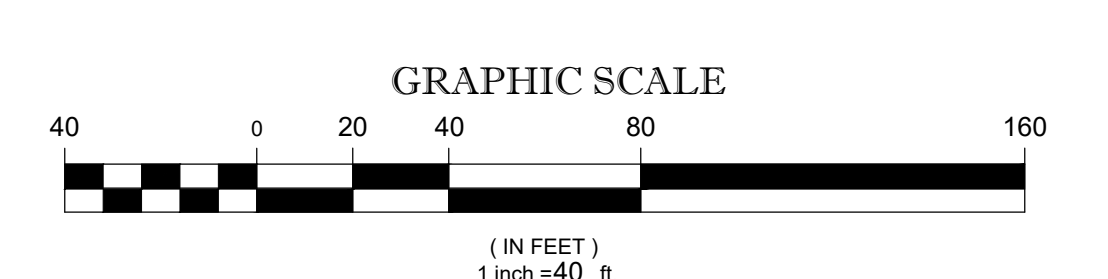
**LEGEND**

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. BOTTOM OF CURB ELEVATION
	EXIST. TOP OF WALL ELEVATION
	EXIST. BOTTOM OF WALL ELEVATION
	EXIST. FINISHED FLOOR ELEVATION
	HYDRANT
	FIRE DEPARTMENT CONNECTION (F.D.C.)
	IRRIGATION VALVE
	CATCH BASINS
	CLEAN OUT
	DETECTABLE WARNING PAD
	METAL COVERS
	SIGN
	BOLLARD
	GROUND FLOOD LIGHT
	LAMP
	DECIDUOUS TREE & TRUNK SIZE
	CONIFEROUS TREE & TRUNK SIZE
	PARKING SPACE COUNT
	ABOVE GROUND
	BELGIUM BLOCK CURB
	BUILDING FOOTPRINT AREA
	BUILDING
	CHAIN LINK FENCE
	DEPRESSED CURB
	EDGE OF CONC.
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	FIRE DEPARTMENT CONNECTION
	HANDICAP
	HEIGHT
	LANDSCAPED AREA
	MASONRY BLOCK WALL
	METAL COVER
	SOLID WHITE LINE
	SOLID YELLOW LINE
	TYPICAL
	CONCRETE CURB
	VERTICAL GRANITE CURB



- NOTES:**
- PROPERTY KNOWN AS PARCEL 05-005-00015 & A PORTION OF PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
  - AREA: LOT 3A = 65,852 SQUARE FEET OR 1.512 ACRES  
LOT 3B = 32,072 SQUARE FEET OR 0.736 ACRES  
PARCEL 05-005-00015 = 5,657 SQUARE FEET OR 0.130 ACRES  
TOTAL = 103,581 SQUARE FEET OR 2.378 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED
  - QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
  - QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND/OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
  - QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
  - LOTS 1, 2, 3A, 3B, 4 & 5 SHOWN HEREON HAVE BEEN RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963 PLAN 91, BUT HAVE YET TO RECEIVE NEW PARCEL DESIGNATIONS. SHOWN HEREON AS LOTS 1, 2, 3A, 3B, 4 & 5 PER REFERENCE #14.
  - SURVEYOR'S DESCRIPTION PREPARED PER CLIENT REQUEST.
  - IMPROVEMENT FOR LOT 1 ONLY SHOWN HEREON.

- REFERENCES:**
- THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075, "COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011.
  - MAP ENTITLED "ALTANSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON STREET, GOLD STREET & ASSONET STREET. PARCELS 05-010-00001, 05-009-00019, 05-009-00014, 05-009-00009, 05-007-00004, 05-007-00003, 05-006-00013, 05-004-00027, 05-004-00014, 05-003-00017, 05-003-00016, & 05-003-00012. CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019. 8 SHEETS.
  - MAP ENTITLED "PLAN OF LAND IN WORCESTER" PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
  - MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETTS, WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMONT, LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY VHB, DATED JUNE 5, 2019. PROJECT NO. 609229, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 943, PLAN 56.
  - MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
  - WASHINGTON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
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  - SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842
  - MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91.
  - MAP ENTITLED "CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.
  - MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY & THORNDIKE, DATED JANUARY 1983, SHEET 8 OF 47, FILED WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - MAP ENTITLED "CONDOMINIUM SITE PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 120 WASHINGTON STREET, A PORTION OF PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 12, 2022. NOT YET RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS.
  - CIVIL CAD FILE PROVIDED BY BOHLER ENGINEERING.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	5-10-2024	AS-BUILT SURVEY
FIELD BOOK NO.	24-06	QUARTERRA MULTIFAMILY COMMUNITIES, LLC
FIELD BOOK PG.	27-28	139 & 153 GREEN STREET
FIELD CREW	B.S.B.	PARCELS 05-005-00015 & 05-005-00001
DRAWN	J.P.M.	CITY OF WORCESTER, WORCESTER COUNTY
APPROVED	R.J.K.	COMMONWEALTH OF MASSACHUSETTS
DATE	5-22-2024	
SCALE	1" = 40'	
FILE NO.	03-200266-01	
DWG. NO.	1 OF 1	

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NOTES:

- 1. PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
2. AREA = 170,029 SQUARE FEET OR 3.903 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS...

LEGEND

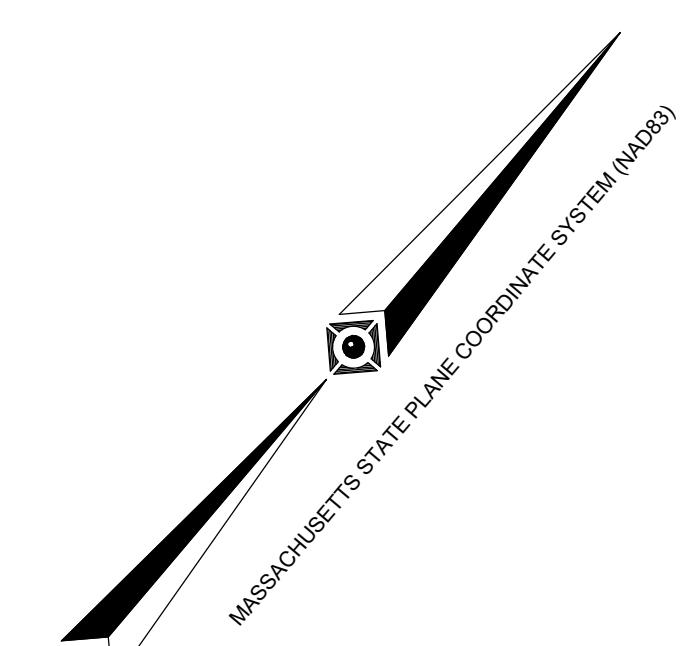
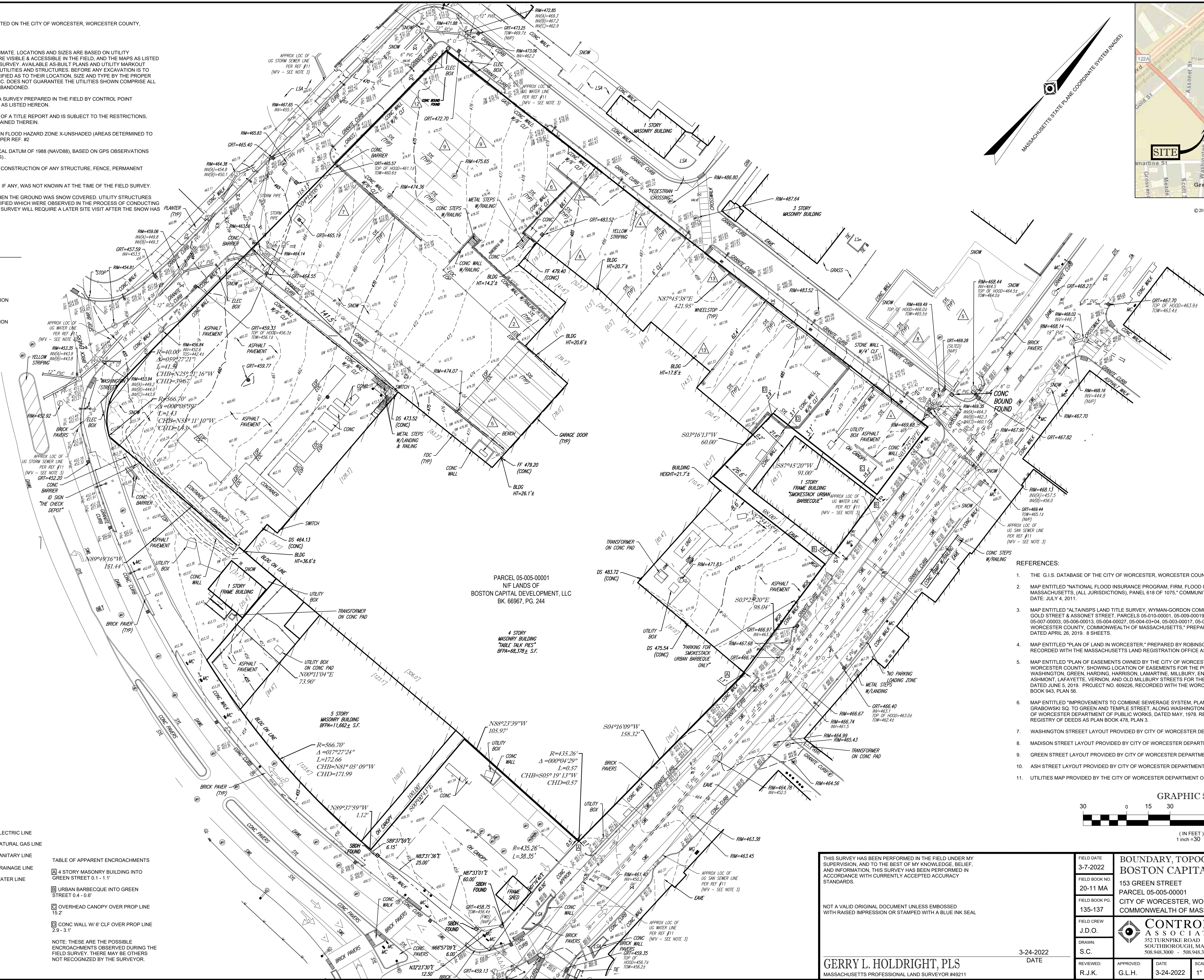
- 124 EXISTING CONTOUR
125 EXISTING SPOT ELEVATION
123.45 EXIST. TOP OF CURB ELEVATION
122.85 EXIST. BOTTOM OF CURB ELEVATION
122.45 EXIST. TOP OF WALL ELEVATION
122.85 EXIST. BOTTOM OF WALL ELEVATION

TABLE OF APPARENT ENCROACHMENTS
[ ] 4 STORY MASONRY BUILDING INTO GREEN STREET 0.1 - 1.1'
[ ] URBAN BARBECUE INTO GREEN STREET 0.4 - 0.6'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

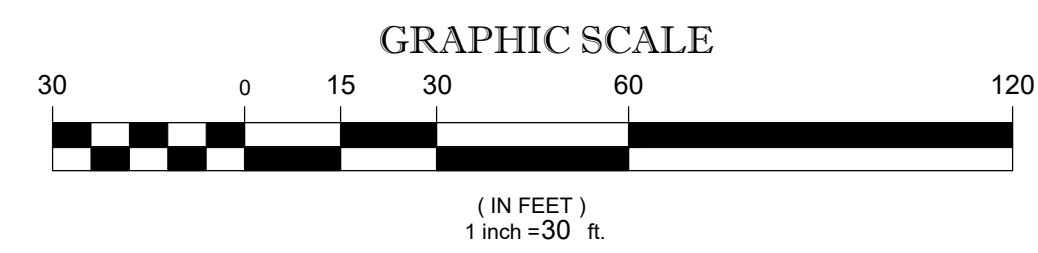
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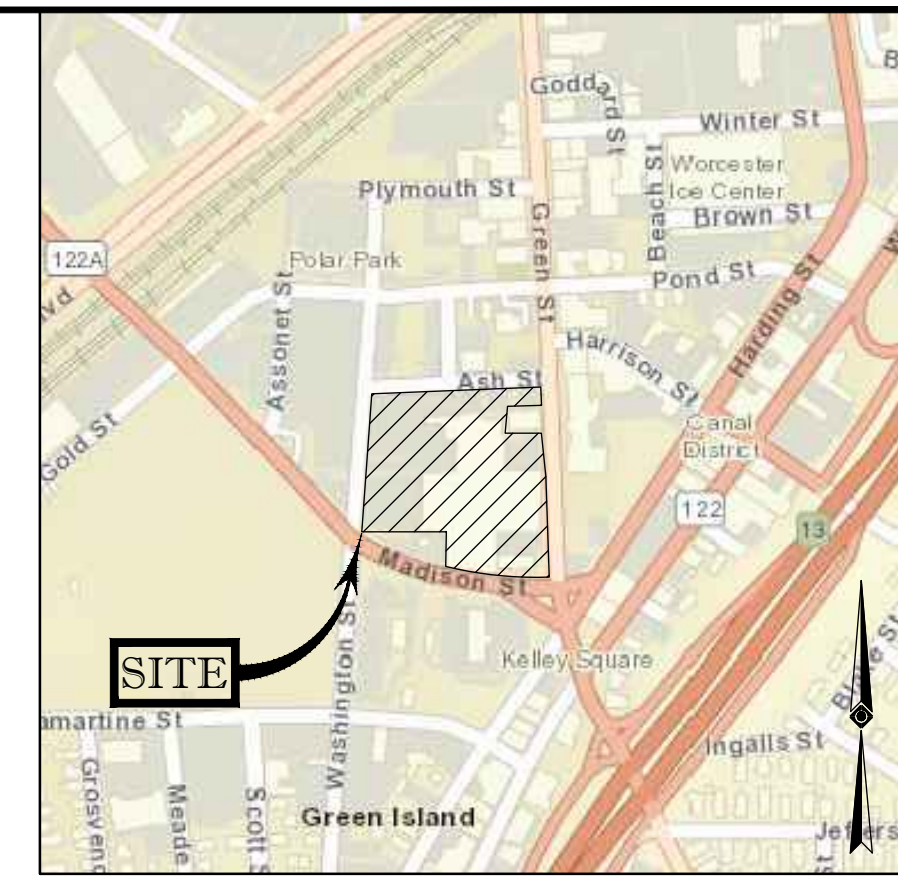
REFERENCES:

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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

Table with 4 columns: FIELD DATE, FIELD BOOK NO., FIELD BOOK PGS, FIELD CREW, DRAWN, S.C., APPROVED, DATE, SCALE, FILE NO., DWG. NO.
Values include: 3-7-2022, 20-11 MA, 135-137, J.D.O., 3-24-2022, 1" = 30', 03-200266, 1 OF 1



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS

REFERENCES:

- 1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075," COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011.
3. MAP ENTITLED "ALTANSPP LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON STREET, GOLD STREET & ASSONET STREET, PARCELS 05-010-0001, 05-009-0019, 05-009-0014, 05-009-0009, 05-007-0004, 05-007-0003, 05-006-0013, 05-004-03+04, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019. 8 SHEETS.
4. MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
5. MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETTS, WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILLBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMON, LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY VHB, DATED JUNE 5, 2019. PROJECT NO. 609226, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 943, PLAN 56.
6. MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
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NOTES:

- 1. PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
2. AREA = 170,029 SQUARE FEET OR 3.903 ACRES
3. UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST LAND TITLE COMPANY, HAVING REFERENCE NUMBER 30895, WITH AN EXAM ENDING DATE OF OCTOBER 23, 2020, WHERE THE FOLLOWING SURVEY RELATED DOCUMENTS ARE LISTED:
(A) DECLARATION AND DECREE OF ABANDONMENT OF SPRUCE STREET BY THE CITY OF WORCESTER RECORDED IN BOOK 4707, PAGE 279 - ABANDONED SPRUCE STREET SHOWN
(B) TAKING IN FEE FOR FLOOD DRAINAGE CONDUIT BY THE CITY OF WORCESTER RECORDED IN BOOK 7793, PAGE 120 - DRAINAGE EASEMENTS NO. 10 & NO. 11 SHOWN.
(C) EASEMENTS FOR SEWER AND WATER PURPOSES RESERVED BY CITY OF WORCESTER IN DEED RECORDED IN BOOK 11466, PAGE 192 - EASEMENTS FOR WATER AND SEWER PURPOSES EXIST WITHIN ABUTTING STREET, NOT PLOTTABLE.
(D) EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DATED AUGUST 17, 1999 AND RECORDED IN BOOK 21873, PAGE 264 - APPROXIMATE LOCATION OF ELECTRIC FACILITIES SHOWN
(E) EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DATED JUNE 1, 2006 AND RECORDED IN BOOK 39279, PAGE 382 - ELECTRIC FACILITIES NOT OBSERVED IN THE FIELD; LOCATION OF FACILITIES PLOTTED PER EXHIBIT.
(F) TAKING OF TEMPORARY EASEMENTS BY CITY OF WORCESTER RECORDED IN BOOK 46275, PAGE 125 - TEMPORARY EASEMENT EFFECTIVE PERIOD IS EXPIRED.
(G) TAKING FOR LAYOUT OF GREEN STREET, MADISON STREET AND WASHINGTON STREET BY CITY OF WORCESTER RECORDED IN BOOK 60622, PAGE 89 AND RESTATED IN BOOK 61792, PAGE 227 - TEMPORARY AND PERMANENT EASEMENTS SHOWN. TEMPORARY EASEMENTS (TE) EXPIRE JUNE 27, 2022.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
7. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
8. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

LEGEND

- SWL SOLID YELLOW LINE
BFLA BUILDING FLOOR PRINT AREA
WGR WOODEN GUIDE RAIL
CLF CHAIN LINK FENCE
LO' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
PARKING SPACE COUNT
TITLE REPORT EXCEPTION

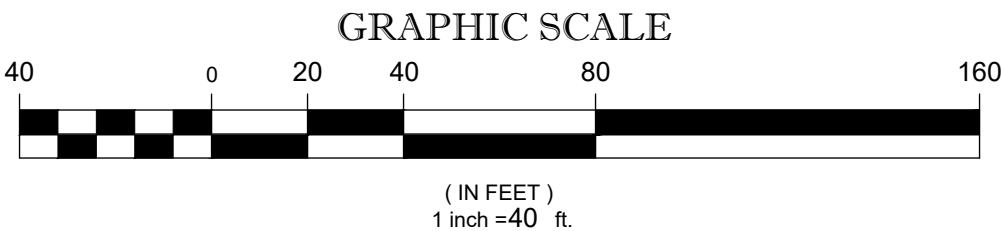
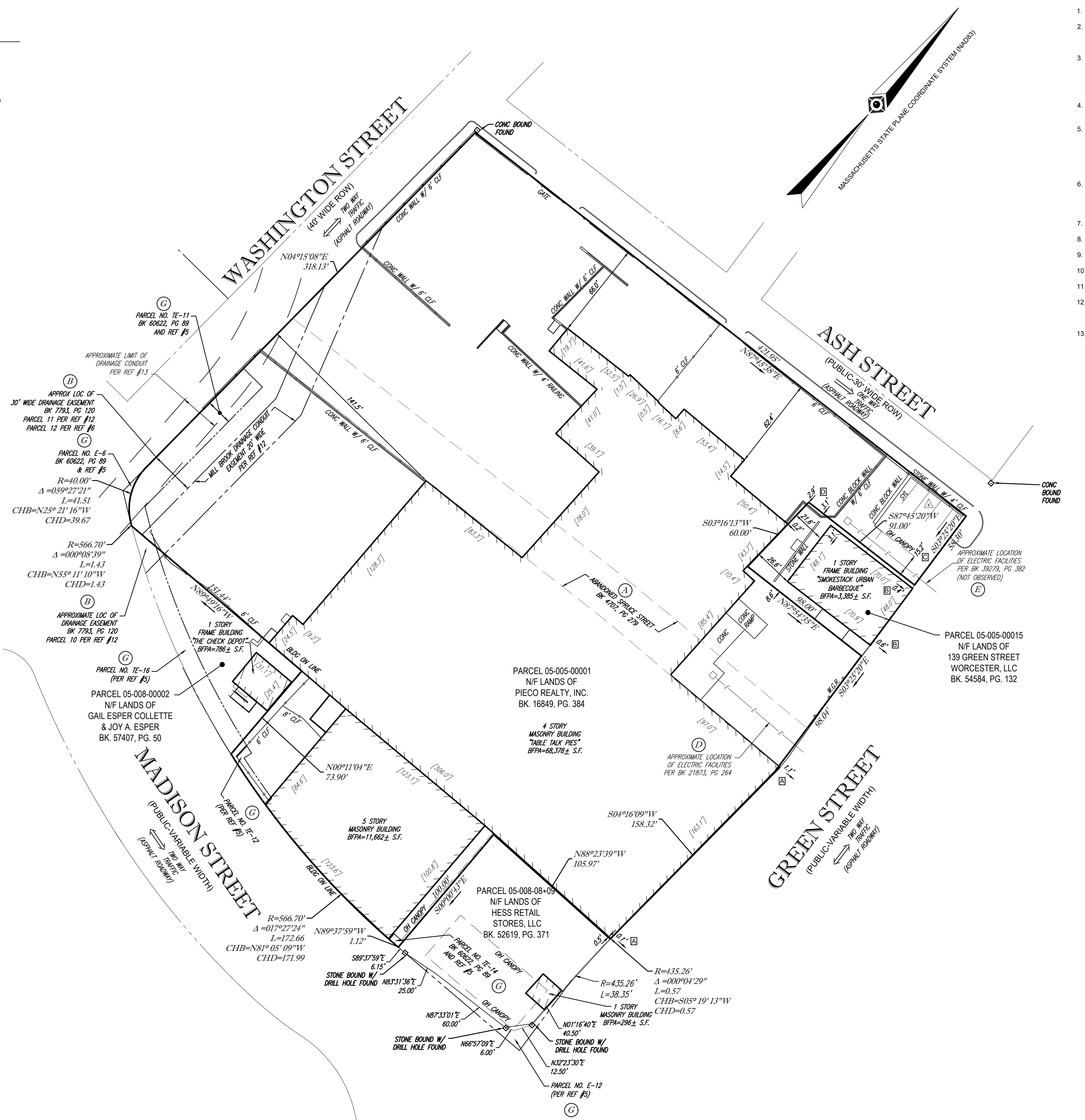
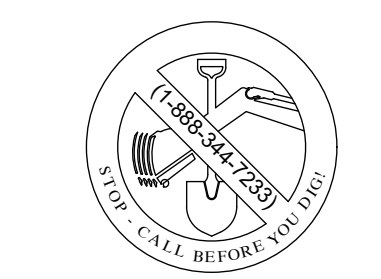


TABLE OF APPARENT ENCROACHMENTS
4 STORY MASONRY BUILDING INTO GREEN STREET 0.1 - 1.1'
URBAN BARBECUE INTO GREEN STREET 0.4 - 0.6'
OVERHEAD CANOPY OVER PROP LINE 15.2'
CONC WALL W/ 6' CLF OVER PROP LINE 2.9 - 3.1'



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

Table with survey metadata: FIELD DATE (09-14-2020), FIELD BOOK NO. (20-11 MA), FIELD BOOK PG. (64), FIELD CREW (J.D.O.), DRAWN (R.J.K.), REVIEWED (G.L.H.), DATE (10-06-2020), TITLE REVIEW SURVEY TABLE TALK PIES, INC., 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, CONTROL POINT ASSOCIATES, INC., ALBANY, NY 5183175010, CHALFONT, PA 3157129900, MANHATTAN, NY 6467800411, SOUTH BOKROUGH, MA 01772, MT LAUREL, NJ 6098572999, WARREN, NJ 9086680999, SCALE 1" = 40', FILE NO. 03-200266, DWG. NO. 1 OF 1

Revision table with columns: No., Description of Revision, Field Crew, Drawn, Approved, Date.