SITE DEVELOPMENT PLANS



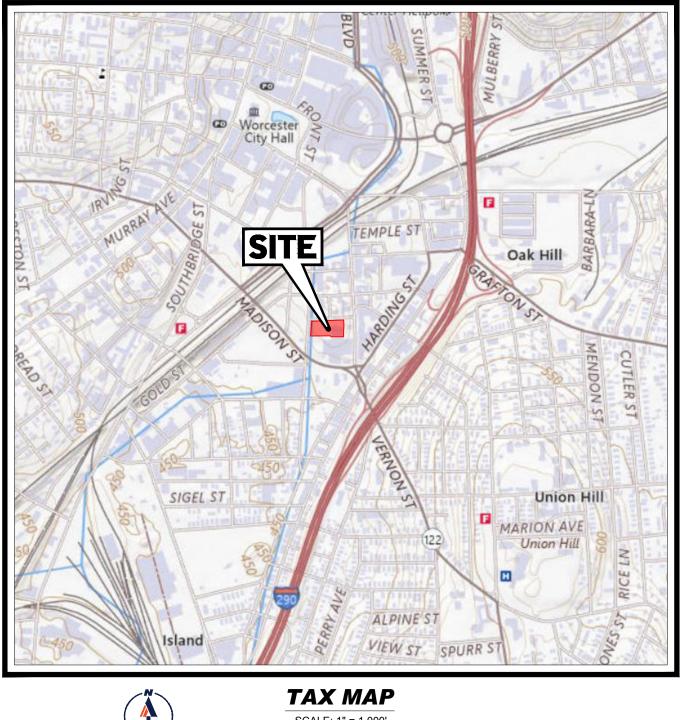
PROPOSED RESIDENCES AT TABLE TALK SQUARE

REFERENCES AND CONTACTS

- REFERENCES
 ◆ AS-BUILT SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 05/22/2024 JOB #/SURVEY JOB #03-200266-01 ELEVATIONS: NAVD 1988
 ◆ APPROVAL NOT REQUIRED PLAN OF LAN CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772
- DATED: 04/04/2022 JOB # /SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988
- ◆ APPROVAL NOT REQUIRED PLAN OF LAND: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 12/11/2024 JOB # /SURVEY JOB #03-200266
- ELEVATIONS: NAVD 1988 • BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE POAD
- 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 03/24/2022 JOB # /SURVEY JOB #03-200266
- ELEVATIONS: NAVD 1988 BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
- CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 12/09/2024 JOB # /SURVEY JOB #03-200266
- ELEVATIONS: NAVD 1988 • TITLE REVIEW SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772
- DATED: 10/06/2020 JOB # /SURVEY JOB #03-200266 ELEVATIONS: NAVD 1988 GEOTECHNICAL EVALUATION REPORT
- GZA GEO ENVIRONMENTAL 249 VANDERBILT AVENUE NORWOOD, MA 02062 DATED: 06/11/2021
- ◆ARCHITECTURAL PLAN: SMC-RESIDENCE AT TABLE TALK SQUARE 104 CONGRESS STREET PORTSMOUTH. NH 03801
- DATED: 12/31/2024
- ◆WORCESTER PLANNING & REGULATORY SERVICES (DPRS) 455 MAIN STREET WORCESTER MA, 01608 PHONE: (508) 700, 1400
- PHONE: (508) 799-1400 • BUILDING DEPARTMENT 25 MEADE STREET WORCESTER, MA 01610 PUIDUE (2000)
- PHONE: (508) 799-1198 • FIRE DEPARTMENT 141 GROVE STREET
- WORCESTER MA, 01605 PHONE: (508) 799-1821
- ROW JURISDICTION ◆ TRAFFIC, STORMWATER, WATER & SEWER DEPARTMENT OF PUBLIC WORKS (DPW) 20 EAST WORCESTER STREET WORCESTER MA 01604 PHONE: (508) 929-1300

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY

GELERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE T THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

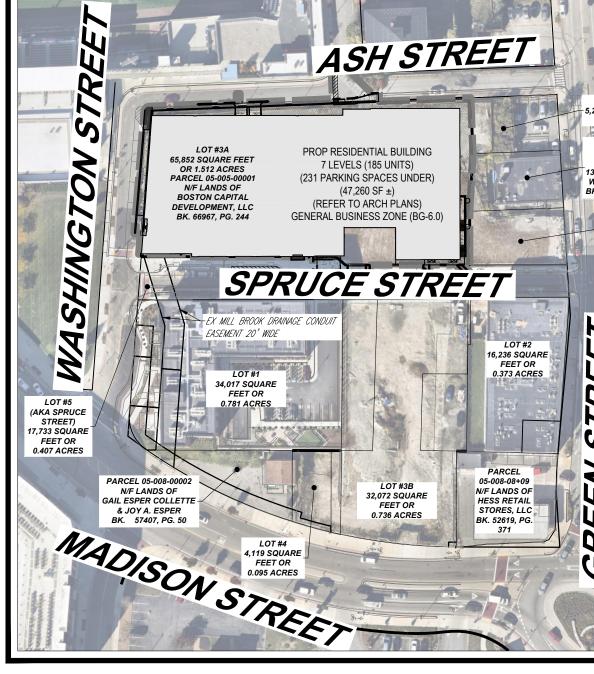


SCALE: 1" = 1,000' SOURCE: USGS

SMC MANAGEMENT CORPORATION

Real Estate Investment • Development • Asset Management

LOCATION OF SITE 120 WASHINGTON STREET, CITY OF WORCESTER WORCESTER COUNTY, MASSACHUSETTS MAP 5, BLOCK 5, LOT 0003A



AERIAL MAP SCALE: 1" = 100' SOURCE: NEARMAP

OWNER Boston Capital 11 BEACON STREET, SUITE 325, BOSTON MA 02108 RICH MAZZOCCHI
 DEVELOPER

 SMC MANAGEMENT CORPORATION

 Real Estate Investment • Development • Asset Management

 11 BEACON STREET, SUITE 325, BOSTON MA 02108

 RICH MAZZOCCHI

PREPARED BY



CONTACT: AUSTIN TURNER

MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER
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SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
JURISDICTIONAL NOTES	C-103
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-801
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-803
CONSTRUCTION DETAILS	C-901
CONSTRUCTION DETAILS	C-902
CONSTRUCTION DETAILS	C-903
OVERALL LANDSCAPE PLAN	L-101
LANDSCAPE PLAN ENLARGEMENTS	L-102
LANDSCAPE NOTES AND DETAILS	L-103
LIGHTING PLAN	L-201
LIGHTING NOTES AND DETAILS	L-202
SURVEY PLANS (BY OTHERS)	6 SHEETS

GENERAL NOTES

- (Rev. 1/2023)
- FHESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING MA, LLC HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER , IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THESE NOTES, AND THE
- REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT
- THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. HIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROLIGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES
- CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE), THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITEC
- AND PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS. ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS. PRIOR TO THE COMMENCEMENT OF
- CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING PROFESSIONAL OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND BOHLER. THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH
- ADDITIONAL WORK. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
- PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE.
- THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES AD ACENT TO PAVEMENT. STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS
- SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES. TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST
- THE CONTRACTOR MUST REPAIR. AT CONTRACTOR'S SOLE COST. ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE WIRING CONDUITS AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE
- START OF CONSTRUCTION THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION. OR ANYTHING RELATED TO SAME. THE PROFESSIONAL OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF PROFESSIONAL OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING TO THE PROFESSIONAL OF RECORD AND BOHLER. ANY DISCREPANCIES THAT MAY OR
- COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE. IT WILL BE AT THE CONTRACTOR'S OWN RISK AND FURTHER. THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, NJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S
- FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND CURRENT CODES. RULES, STATUTES AND THE LIKE JE THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT PROFESSIONAL OF RECORD AND BOHLER SUFFER AND ANY AND ALL COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S
- LOVER'S LIABILITY INSURANCE AN UMBRELLA COVERAGES ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER AND ITS PAST. PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS, PENALTIES EXPENSES PUNITIVE DAMAGES TORT DAMAGES STATUTORY CLAIMS STATUTORY CAUSES OF ACTION LOSSES CAUSES OF ACTION LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY PROFESSIONAL OF RECORD, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO
- THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS. METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY SOIL EROSION & SEDIMENT CONTROL PLAN NOTES RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER NOR THE PRESENCE OF BOHLER AND/OR ITS PAST PRESENT AND FUTURE OWNERS OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES") RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS METHODS SEQUENCE TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING. OVERSEEING. SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH IURISDICTION OVER THE PROJECT AND/OR PROPERTY BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR AN) RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY. DEFEND PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND. FURTHER. THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE

ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

- AS DESCRIBED ABOVE WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT. BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES. AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM C LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- F THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN PROFESSIONAL OF RECORD'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND FURTHER MUST DEFEND INDEMNIEY PROTECT AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH
- FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND, FURTHER, THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLED Y RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF
- THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. PROFESSIONAL OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK
- THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO. THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD PROFESSIONAL OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT PROFESSIONAL OF RECORD INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLITITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE
- ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST INSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED OGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER. THE USE OF THE
- WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES

DEMOLITION NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT 1 DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS STREETS SIDEWALKS WALKWAYS AND ALL OTHER ADJACENT FACILITIES THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WA
- PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY ONDITIONS REGARDING ITEMS TO BE DEMOLISHED. REMOVED. AND/OR TO REMAIN
- ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS METHODS SEQUENCING TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING ECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE. FEDERAL LOCAL AND JURISDICTIONAL REQUIREMENTS THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR
- COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFE SITE THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY. WHICH MUST INCLUDE. BUT IS NOT LIMITED TO. THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA.
- QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIR PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO BY THE PROFESSIONAL OF RECORD AND BY BOHLER. IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS
- FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES AND CODES. PRIOR TO COMMENCING ANY DEMOLITION. THE CONTRACTOR MUST A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION
- LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN AID CONTROLS UNTIL SITE IS STABILIZED
- UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES. INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER. TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY
- DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE PROFESSIONAL OF RECORD'S OR BOHLEF RESPONSIBILITY, IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER NITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK"
- PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER, PROFESSIONAL OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES, BACKFILL 4 MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED
- RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCAL O ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO
- MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST
- SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO THE PUBLIC RIGHT-OF-WAY THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED ABANDONED IN PLACE OR RELOCATED DUE TO DEMOLITION ACTIVITIES THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.

AREA AROUND THE TANK WHICH EMPTYING. CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

(Rev. 4/2023)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY OMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE MASSACHUSETTS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING.
- DIRECTS OTHERWISE, INSTALLATION OF EROSION CONTROL. CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES. HE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.000ACRES. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS
- DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE
- CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, O PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- JNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES. SILT AND DEBRIS AFTER ESTABLISHING PERMANENT /EGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES MEASURES AND STRUCTURES ADDITIONAL FACILITIES MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES. BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT OCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- GUIDELINES RULES REGULATIONS STANDARDS AND THE LIKE
- RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DETAIL, SPECIFICATION OR DESIGN THAT HAS NOT BEEN DESIGNED OR CONSTRUCTED BY THE "BOHLER" ENTITY AND REGARDING

GRADING NOTES (Rev. 1/2023) THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRAC DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY FOR ENTIRE PLAN SET COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE AC REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE AD

MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE PROFESSIONAL OF RECORD. BOHLER AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION DeltaOBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE AG PROFESSIONAL OF RECORD AND BOHLER. IN WRITING THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT

ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE ARCH SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STAT WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE ASPH BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, ASSF STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING. BUT NOT LIMITED TO. EXCAVATION. BACKFILL. AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, RE ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR OADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD | BIT AND BOHLER IN WRITING OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S) THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE BK PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR ACCESSIBILITY DESIGN GUIDELINES

ALL ACCESSIBLE (A K & ADA) COMPONENTS AND ACCESSIBLE BOLITES MUST BE CONSTRUCTED TO MEET AT A MINIMUM THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS BRL TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND BWW

- CONSISTENCY WITH INDUSTRY GUIDELINES. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE CF BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT \mid CL EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE AMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. CMP VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
- ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1.12 (8.3%) AND A RISE OF 30-INCHES LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS, LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES. CONC AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE CONN RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST COORD
- NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT CPP EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH
- OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
- ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST | DIA IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE
- THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DOT PROFESSIONAL OF RECORD AND BOHLER IN WRITING PRIOR TO POLIRING CONCRETE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE

SURFACES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT | ELEC DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. OCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY FOR VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION | EP / EOP | EDGE OF PAVEMENT POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE

THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO GAS WATER ELECTRIC SANITARY AND STORM TELEPHONE CABLE FIBER OPTIC CABLE ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING FDC CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND FEMA LITILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH. PRIOR TO COMMENCEMENT OF CONSTRUCTION STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FES.

VERIFYING LOCATIONS, SIZE, AND MATERIAL OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. The contractor is responsible for coordinating site plan documents and architectural plans for exact \mid FF BUILDING UTILITY CONNECTION LOCATIONS: GREASE TRAP REQUIREMENTS: AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE | FG REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING TH UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS | FH BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME.

ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF GC RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS GEO AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE

INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), GF / GFE WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, GFA WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE GH AGENCY WITH JURISDICTION OVER SAME.

FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS BURIAL DEPTH AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. GRT THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR GT TO COMMENCING CONSTRUCTION.

THE TOPS OF EXISTING MANHOLES. INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO match proposed finished grades with no tripping or safety hazard in accordance with all applicable \mid GV STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

(Rev. 11/2023)

IS

OUTSIDE SOURCE NOTES

ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE WHICH IS INDICATED TO HAVE BEEN PREPARED "BY OTHERS" (HEREIN, "BY OTHERS REPORTS, DOCUMENTS AND DETAILS") HAS BEEN HW OR WILL BE CREATED. DEVELOPED. PREPARED. PERFORMED. AND ANALYZED BY AN ENTITY OR PARTY OTHER THAN THE "BOHLER" ENTITY INVOLVED WITH THIS PROJECT. THE "BOHLER" ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS, ICS DOCUMENTS AND DETAILS EVEN IF/WHERE INCLUDED IN THE "BOHLER" ENTITY'S PLANS, REPORTS, ETC. SAME HAS BEEN INCLUDED ON THIS PLAN FOR THE CONVENIENCE, ONLY, OF THE PROJECT OWNER, DEVELOPERS, CONTRACTORS AND CONSULTANTS AND IN ORDER TO COORDINATE THE "BOHLER" ENTITY'S DESIGN WITH THAT OF "OTHERS". THE "BOHLER" ENTITY HAS ASSUMED, FOR PURPOSES OF THIS PLAN THAT THE BY OTHERS REPORTS DOCUMENTS AND DETAILS ARE CURRENT AND IF APPLICABLE INT PREPARED IN STRICT ACCORDANCE WITH ALL APPLICABLE COUNTY, STATE, FEDERAL AND OTHER STATUTES, LAWS, RULES, REGULATIONS, ORDINANCES AND THE LIKE. THE "BOHLER" ENTITY SPECIFICALLY DISCLAIMS ANY AND ALL LIABILITY AND INV RESPONSIBILITY FOR BY OTHERS REPORTS, DOCUMENTS AND DETAILS. THE ENTITY OR PERSON WHO CREATED THE INFORMATION (Rev. 1/2020) CONTAINED IN THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS (EXCLUDING INFORMATION AND/OR DETAILS SOLELY SUPPLIED | LF BY A JURISDICTION AND/OR GOVERNING BODY) AGREES BY PARTICIPATING IN THIS PROJECT, RECEIVING, REVIEWING, USING

AND/OR RELYING UPON THIS DOCUMENT, AND/OR BY AGREEING TO THE PROJECT OWNER/DEVELOPER'S CONTRACT DOCUMENTS | LOC TO DEFEND. INDEMNIFY. PROTECT AND HOLD HARMLESS THE "BOHLER" ENTITY THAT PREPARED THIS DOCUMENT AND ITS EMPLOYEES FOR ANY AND ALL DAMAGES, INJURIES, COSTS, EXPENSES AND THE LIKE, TO THE FULLEST EXTENT PERMITTED UNDER | LOD THE LAW, WHICH THE "BOHLER" ENTITY AND/OR ITS EMPLOYEES SUFFER OR INCUR AS A RESULT OF INCLUDING ANY BY OTHER REPORTS, DOCUMENTS AND DETAILS IN AND ON OR IN THIS PLAN. ANYONE OR ANY ENTITY WHO RECEIVED, RELIES UPON AND/OR LOS PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND USES THIS PLAN. AGREES TO HOLD THE "BOHLER" ENTITY AND ITS EMPLOYEES HARMLESS FROM ANY CLAIMS, DAMAGES, INJURIES, ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES AND THE LIKE, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, WHICH IT OR THEY SUFFER OR INCUR AS A RESULT OF THE ANY BY OTHERS REPORTS, DOCUMENTS AND DETAILS INCORPORATED IN THE PLAN, AND EXPRESSLY CONFIRMS THAT BY ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON RECEIVING, RELYING UPON AND/OR USING SAME, THE "BOHLER" ENTITY SHALL HAVE NO LIABILITY RELATED TO SAME. WITH RESPECT TO ALL BY OTHERS REPORTS. DOCUMENTS AND DETAILS. CONTRACTOR MUST VERIFY ALL INFORMATION CONTAINED IN THE SCOPE OF ALL PARTIES INVOLVED IN PREPARING THE BY OTHERS REPORTS. DOCUMENTS AND DETAILS PRIOR TO COMMENCING THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. ANY CONSTRUCTION AND MUST VERIFY THAT THE INFORMATION IS THE LATEST. THE MOST RECENT AND THE MOST CURRENT

REPORTS, DOCUMENTS AND DETAILS DEPICTING AN OFF-SITE AREA WHERE NO DETAIL IS INCLUDED IS A REFERENCE TO AN AREA.

(Rev. 1/2023) WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. (Rev. 3/2023) CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE PROFESSIONAL OF RECORD | ES / EOS | EDGE OF SHOULDER

DECORATIVE DEPARTMENT OF ENVIRONMENTAL PROTECTION DETENTION DIAMETER DRAINAGE MANHOLE DOMESTIC DEPARTMENT OF TRANSPORTATION DESIGN POINT DASHED WHITE LINE DOUBLE YELLOW LINE EXISTING GRADE ELECTRIC FI EVATION ENGINEER OF RECORD FND WALL EXISTING FIRE DEPARTMENT CONNECTION FEDERAL EMERGENCY MANAGEMENT AGENCY FLARED END SECTION FINISH / FIRST FLOOF FINISH / FIRST FLOOR ELEVATION FINISH GRADE FIRE HYDRANT FORCE MAIN FIBER OPTIC GRADE GENERAL CONTRACTOR GEOTECH/GEOTECHNICAL GARAGE FLOOR FLEVATION (AT DOOR) GROSS FLOOR AREA GRADE HIGH (WALL) GRADE LOW (WALL) GRATE GREASE TRAF GATE VALVE HDPE HIGH DENSITY POLYETHYLENE HORIZONTAI HOR HIGH POINT HEADWALL INLET CONTROL STRUCTURE INFILTRATION INTERSECTION INVERT LINEAR FOOT LIMIT OF CLEARING LIMIT OF DISTURBANCE LINE OF SIGHT LIMIT OF WORK I OW POINT LANDSCAPE

WETLAND CATCH BASIN CUBIC FEET CURB INLET CHANGE IN TYPE CENTER LINE CORRUGATED METAL PIPE CI FAN OUT CO CONCRETE CONNECTION COORDINATE CORRUGATED PLASTIC PIPE CUBIC YARD DEP DOM

ABBREVIATIONS

AASHTO

ASSOC

BLDG

STANDARD

AMERICAN ASSOCIATION OF

TRANSPORTATION OFFICIALS

ACCESSIBLE / AMERICANS

WITH DISABILITIES ACT

STATE HIGHWAY AND

ACRE / ACRES

ABOVE GROUND

ARCHITECTURAL

AREA SUBJECT TO

BOTTOM OF CURB

BASEMENT FLOOR

ASSOCIATION

BIOGARDEN

BITUMINOUS

BLOCK

BASELINE

BUII DING

BENCH MARK

BUILDING RESTRICTION LINE

BORDERING VEGETATIVE

STORMWATER FLOWAGE

APPROXIMATE

ASPHAL[®]

AREA DRAIN

WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST

THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES

PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST. IN WRITING

RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED

B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT

IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR

HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED

DEMOLITION ACTIVITIES AND FOUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE

POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND CONTRACTOR IS

PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE THE CONTRACTOR MUST EMPTY. CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS. IF ENCOUNTERED N ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE

THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT

E CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE

O PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.

UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE REPORT, DOCUMENT AND DETAIL. REFERENCES ON THIS PLAN TO INFORMATION PREPARED OR CONTAINED IN BY OTHERS DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT WHICH THE "BOHLER" ENTITY HAS NO CONTROL OVER OR LIABILITY REGARDING, BUT IS ADDED TO THIS PLAN FOR INFORMATIONAL ACCORDANCE WITH THE DETAILS. UNLESS NOTED CLEARLY OTHERWISE

PURPOSES, ONLY,

LSA MAX	LANDSCAPE AREA MAXIMUM	STANDAR	RD DRAWING FOR ENTIRE PLAN SET	LEGEND	TM
ME	MATCH EXISTING MECHANICAL, ELECTRICAL,	LIMIT OF WORK		LOW	HOUT PRIOF
	AND PLUMBING MANHOLE	LIMIT OF DISTUR		LOD	
MIN	MINIMUM	SAWCUT LINE			
	MECHANICAL JOINT MANUAL ON UNIFORM TRAFFIC	EXISTING NOTE		PROPOSED NOTE	The second secon
_	CONTROL DEVICES		ONSITE PROPERTY LINE / R.O.W. LINE NEIGHBORING		AND CONSULTING ENGI LAND SURVEYING ROGRAM MANAGEMENT UDSCAPE ARCHITECTUR SUSTAINABLE DESIGN PERMITTING SERVICES (NSPORTATION SERVICES) (NSPORTATION SERVICES)
NOAA	ATMOSPHERIC ADMINISTRATION		PROPERTY LINE / INTERIOR PARCEL LINE		SURVI SURVI MAN ARC ABLE ABLE NG SI
NRCS	NATIONAL RESOURCE CONSERVATION SERVICE		EASEMENT LINE		
O&M OC	MAINTENANCE ON CENTER		SETBACK LINE		L AND CO LAND PROGRAM SUSTAIN PERMITT RANSPORT
	OUTLET CONTROL STRUCTURE				CIVIL LAN TRA DUHLER. ONLY
OGS	OIL AND GRIT SEPARATOR	-		CURB AND GUTTER	SITE SITE
ORD PA / POA	ORDINANCE POINT OF ANALYSIS	_		SPILL TRANSITION	AUTHORIZA AUTHORIZA
PC	POINT OF CURVATURE	-	CONCRETE CURB & GUTTER	DEPRESSED CURB AND GUTTER	HE INFORM
PCCR	POINT OF CURVATURE, CURB RETURN PERFORATED			[]	
PERF - PG	PROPOSED GRADE		UTILITY POLE WITH LIGHT		
– PI POG	POINT OF INTERSECTION POINT OF GRADE	O	POLE LIGHT	CC	REV DATE COMMENT CHECKED BY
PP	POLYPROPYLENE PIPE		TRAFFIC LIGHT	Øt	2 01/08/2025 ZONING TABLE OCR
PROP PT	PROPOSED POINT OF TANGENCY	0	UTILITY	-	UPDATES AJS
PTCR	POINT OF TANGENCY, CURB RETURN		POLE	6	
PVI	POINT OF VERTICAL INTERSECTION	 ~	LIGHT		
PVMT	PAVEMENT POINT OF VERTICAL	ф. 	LIGHT	<u>©</u>	
PVT R	TANGENCY RADIUS / RADII		TYPICAL SIGN		
R/W	RIGHT-OF-WAY / RIGHTS-OF-WAY		PARKING COUNTS	X	
RCP	REINFORCED CONCRETE PIPE				
RD REGS	ROOF DRAIN REGULATIONS		CONTOUR	190	811 .
RELO	TO BE RELOCATED		SPOT	FF 517.00 TC 516.00 (ME 516.00)	Know what's below.
REQ RET	REQUIRED RETENTION	TC 516.4 OR 516.4	ELEVATIONS	BC 515.55	Call before you dig. ALWAYS CALL 811
RET WALL	RETAINING WALL	SAN	SANITARY		It's fast. It's free. It's the law.
RETO	TO BE RETURNED TO OWNER RAIN GARDEN		LABEL	(S-100)	
S	SLOPE		STORM LABEL	A-100	ENTITLEMENT SET
SAN SESC	SANITARY SEWER SOIL EROSION AND SEDIMENT	SL	SANITARY SEWER LATERAL	SL	THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
SF	CONTROL SQUARE FEET	<i>W</i>	UNDERGROUND WATER LINE	W	REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
SHLO	STATE HIGHWAY LAYOUT SANITARY MANHOLE	<i>E</i>	UNDERGROUND ELECTRIC LINE	Е	PROJECT No.: MAA240356.00-1A DRAWN BY: OCR CHECKED BY: AJS / MMA
SMH	STATION	<i>G</i>	UNDERGROUND GAS LINE	G	DATE: 12/12/2024 CAD I.D.: P-CIVL-CNDS
STM	STORM WATER / STORM SEWER	OH	OVERHEAD	ОН	PROJECT:
SWL	SINGLE/SOLID WHITE LINE STORMWATER POLLUTION		UNDERGROUND	T	SITE
TBA	PREVENTION PLAN TO BE ABANDONED	C	UNDERGROUND		DEVELOPMENT PLANS
TBD	TO BE DETERMINED TO BE PROTECTED		CABLE LINE STORM		FOR
TBP TBR	TO BE REMOVED	_ = = = = = = = = = = = = = = = = = = =	SEWER		
TBRR	TO BE REMOVED AND REPLACED IN KIND		SANITARY SEWER MAIN	S	
TBS TBV	TO BE SALVAGED TO BE VACATED		HYDRANT	₩	SMC
ТС		S	SANITARY MANHOLE		PROPOSED RESIDENCES AT TABLE TALK SQUARE
TC TD	TIME OF CONCENTRATION TRENCH DRAIN		STORM MANHOLE		MAP: 5 BLK: 5 LOT:0003A 120 WASHINGTON STREET
TELE	TELECOMMUNICATIONS / TELEDATA	⊗ ^{WM}	WATER METER	⊗ ^{WM}	CITY OF WORCESTER WORCESTER COUNTY
TPF TR	TREE PROTECTION FENCE TO REMAIN	WV M	WATER		MASSACHUSETTS
TRANS	TRANSITION		GAS	GV	BOHLER
UG	TYPICAL UNDERGROUND		GAS	G	
UP	UTILITY POLE UNITED STATES GEOLOGICAL		METER TYPICAL END		352 TURNPIKE ROAD, 3rd FLOOR SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900
USGS VERT	VERTICAL		HEADWALL OR		www.BohlerEngineering.com
VIF	VERIFY IN FIELD		ENDWALL		
W W/L	WIDE / WIDTH WATER LINE		GRATE INLET		
WM			CURB INLET		JOHNA KUCLEN
WQU YD	WATER QUALITY UNIT YARD DRAIN	0	CLEAN OUT	°C/O	
#	NUMBER SLOPE EXPRESSED IN	Ē	ELECTRIC MANHOLE	Ô	MASSA HOSE STELLAR WASSA HOSE STATE A 1530
#:#	HORIZONTAL:VERTICAL IN FEET	(7)	TELEPHONE MANHOLE		CONNECTIONT LICENSE No. 26177 RHODE ISLAND LICENSE No. 9616 MAINE LICENSE No. 12553
* •	PLUS OR MINUS DEGREE	EB	ELECTRIC	E	SHEET TITLE:
Ø	DIAMETER		BOX ELECTRIC	EP	GENERAL
	FEET/FOOT INCHES		PEDESTAL		NOTES
			MONITORING		AND LEGEND
			WELL		SHEET NUMBER:
			TEST PIT	T-#	C-102
			BENCHMARK		
			BORING	B-#	REVISION 2 - 01/08/2025

MASSACHUSETTS DEMOLITION NOTES

- 1 THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY
- 2. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED. DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL
- PROPOSED IMPROVEMENTS 3. CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS
- RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.
- 4. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS. DELETERIOUS MATERIALS AND/OR DEBRIS THAT IMPEDE THE WORK SHOWN ON THESE PLANS
- 5. THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC
- 6. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP.)
- 7. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.
- 8. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE
- AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.
- 9. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK SHALL BE PERFORMED BY
- A LICENSED / DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.
- 10. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 11. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS.

MASSACHUSETTS SITE NOTES

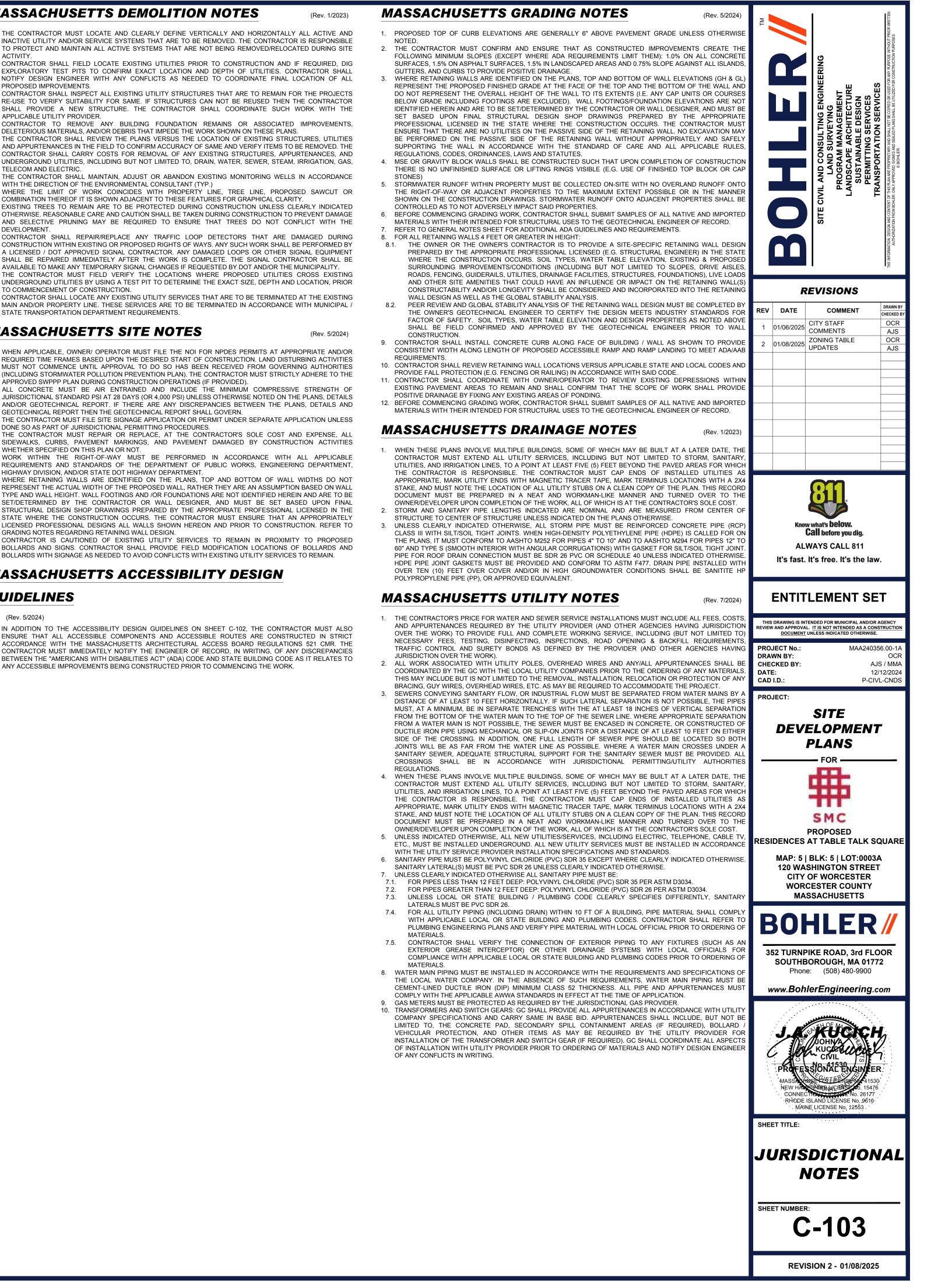
- 1. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIME FRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE
- APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED). 2. ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI) UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS
- AND/OR GEOTECHNICAL REPORT. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS, DETAILS AND GEOTECHNICAL REPORT THEN THE GEOTECHNICAL REPORT SHALL GOVERN. 3. THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS
- DONE SO AS PART OF JURISDICTIONAL PERMITTING PROCEDURES 4. THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES
- WHETHER SPECIFIED ON THIS PLAN OR NOT. 5. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT,
- HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT. 6. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO
- GRADING NOTES REGARDING RETAINING WALL DESIGN. 7. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROVIDE FIELD MODIFICATION LOCATIONS OF BOLLARDS AND

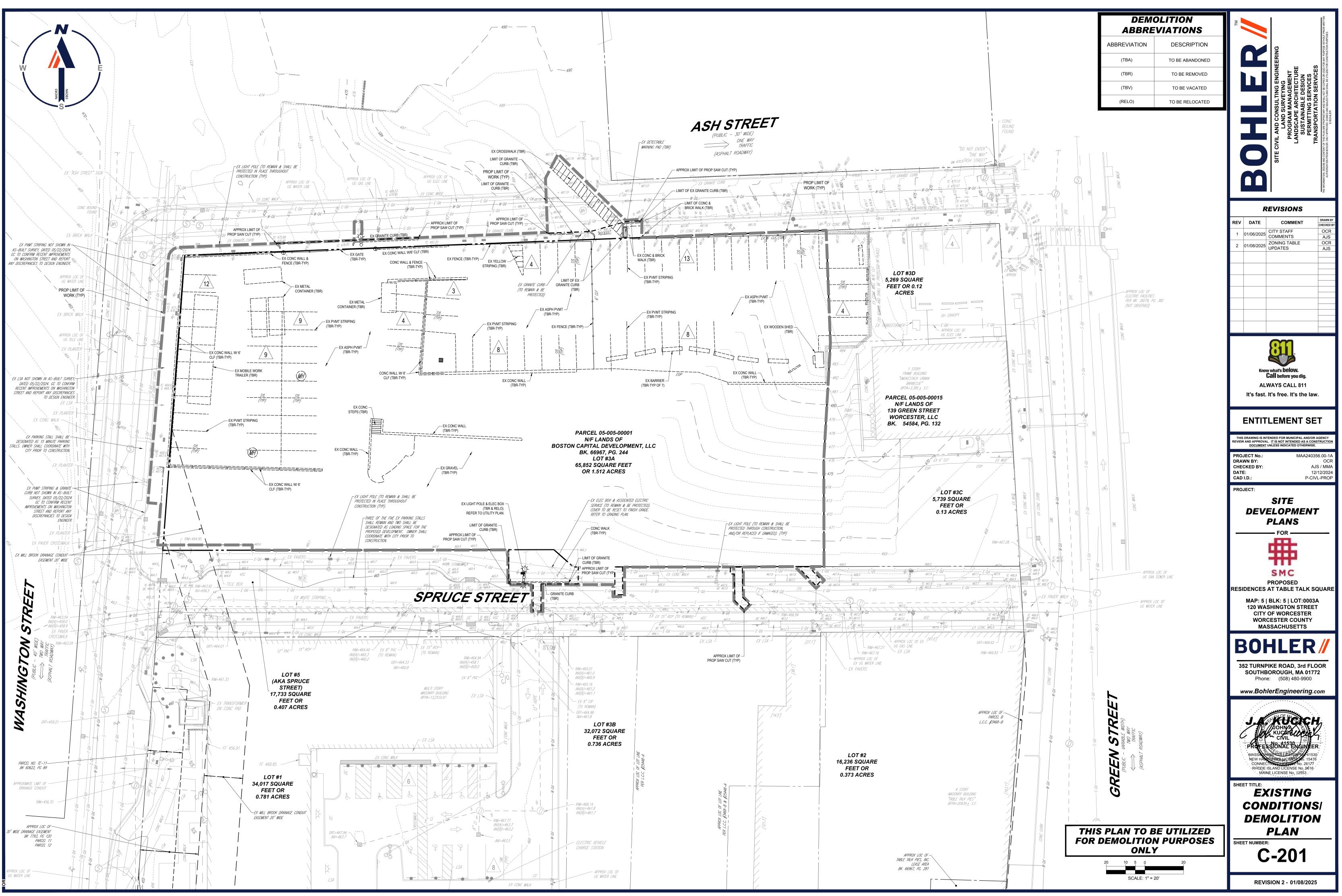
MASSACHUSETTS ACCESSIBILITY DESIGN

GUIDELINES

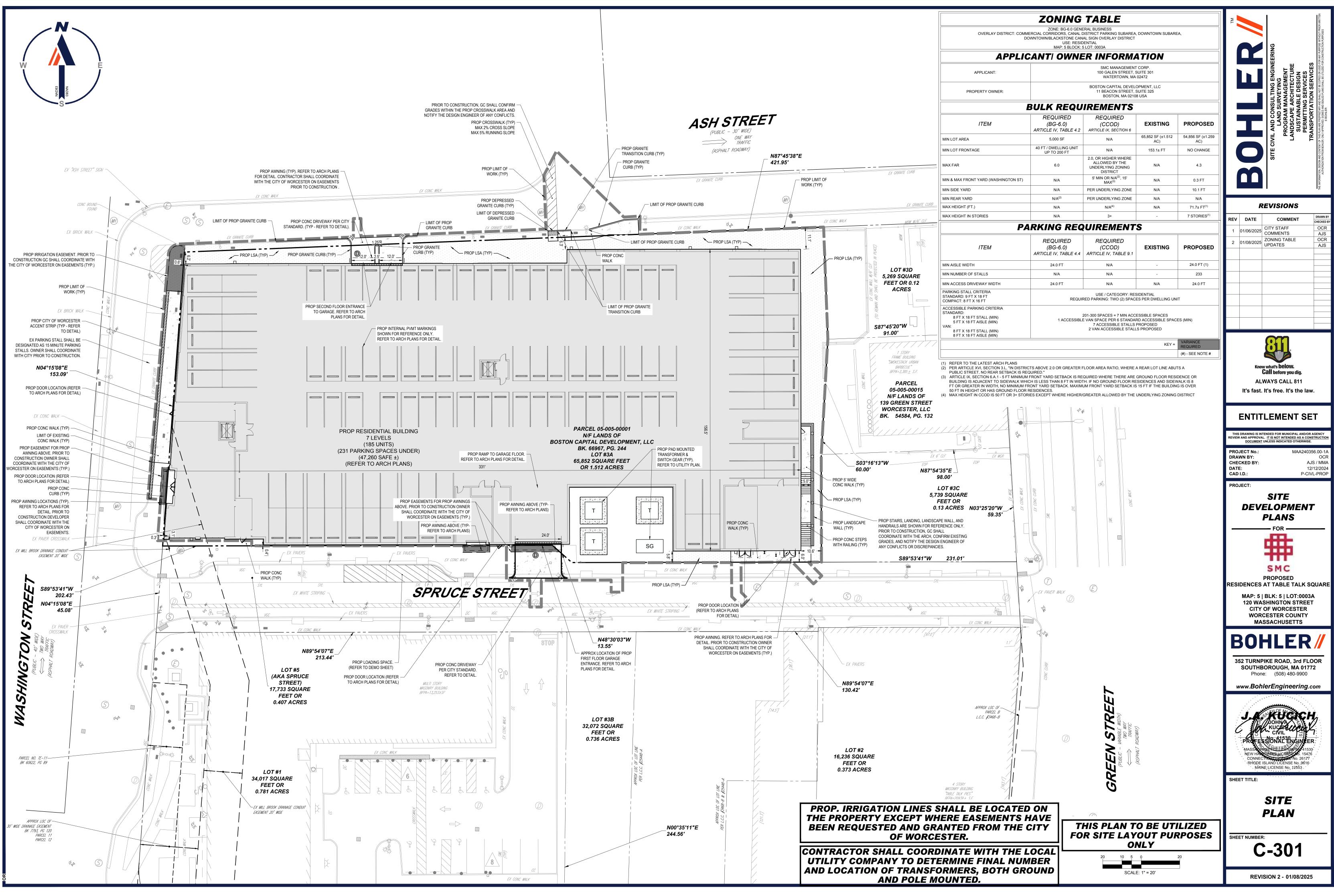
- (Rev. 5/2024)
- 1. IN ADDITION TO THE ACCESSIBILITY DESIGN GUIDELINES ON SHEET C-102, THE CONTRACTOR MUST ALSO ENSURE THAT ALL ACCESSIBLE COMPONENTS AND ACCESSIBLE ROUTES ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS 521 CMR. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCIES. BETWEEN THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE AND STATE BUILDING CODE AS IT RELATES TO

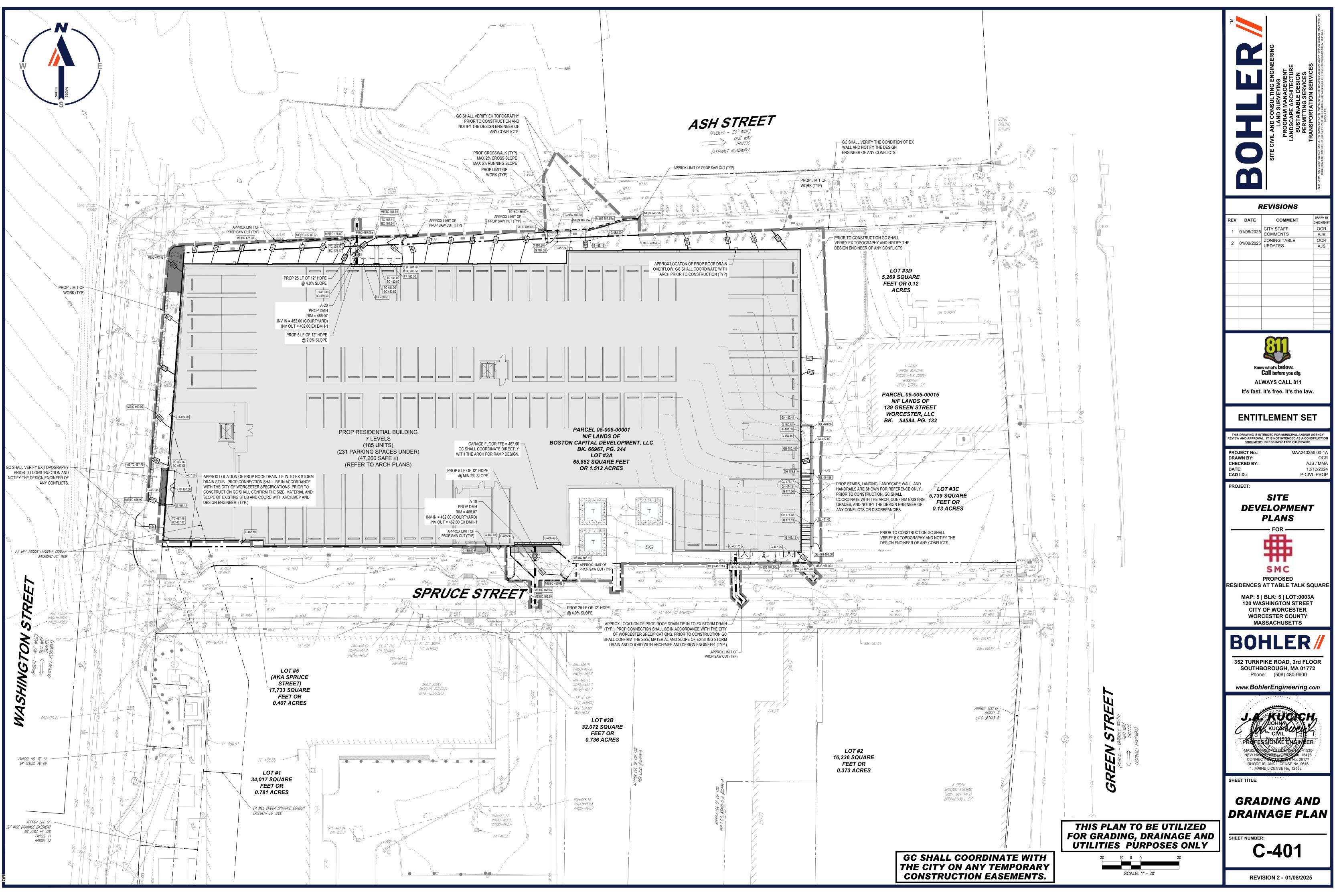
ANY ACCESSIBLE IMPROVEMENTS BEING CONSTRUCTED PRIOR TO COMMENCING THE WORK





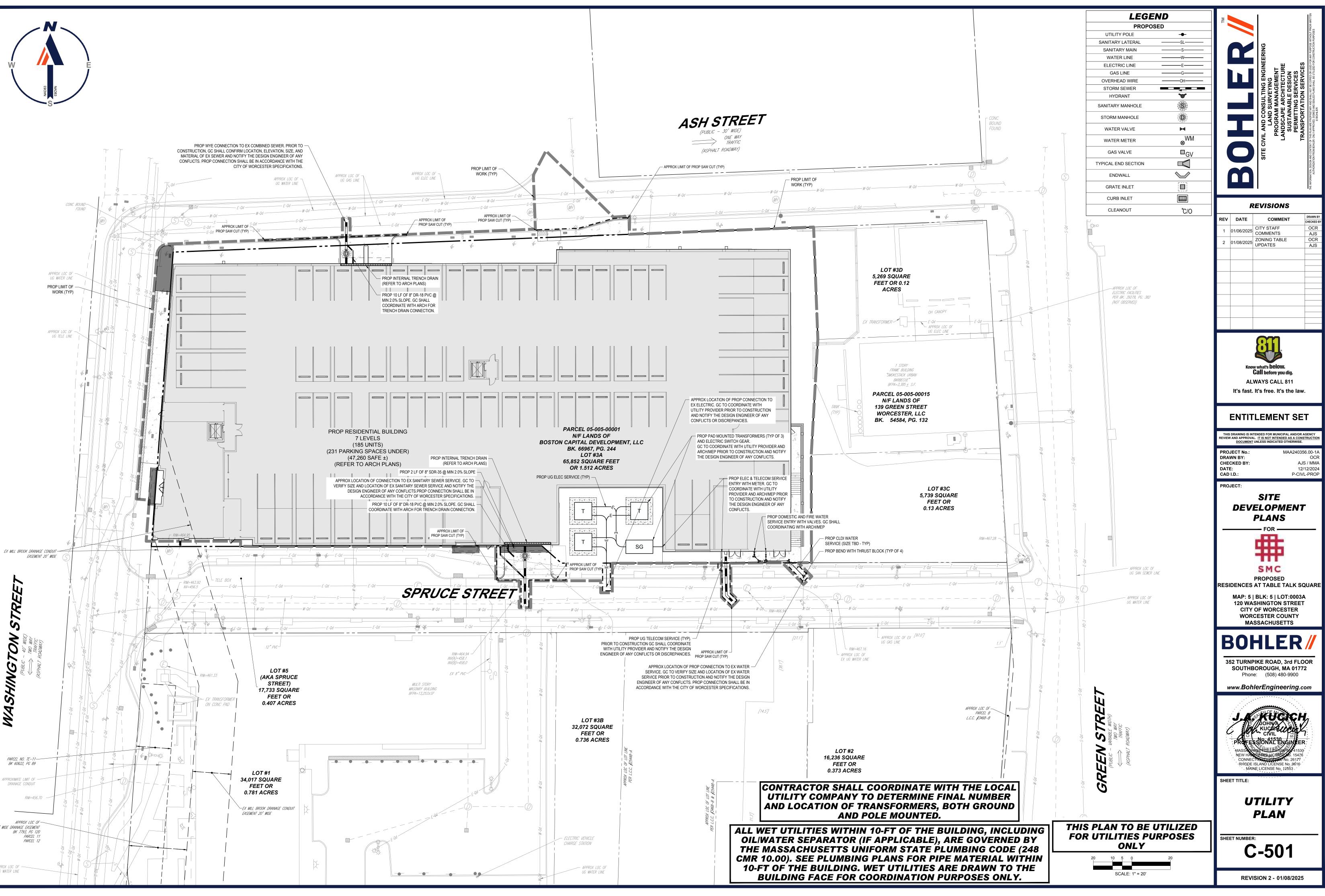
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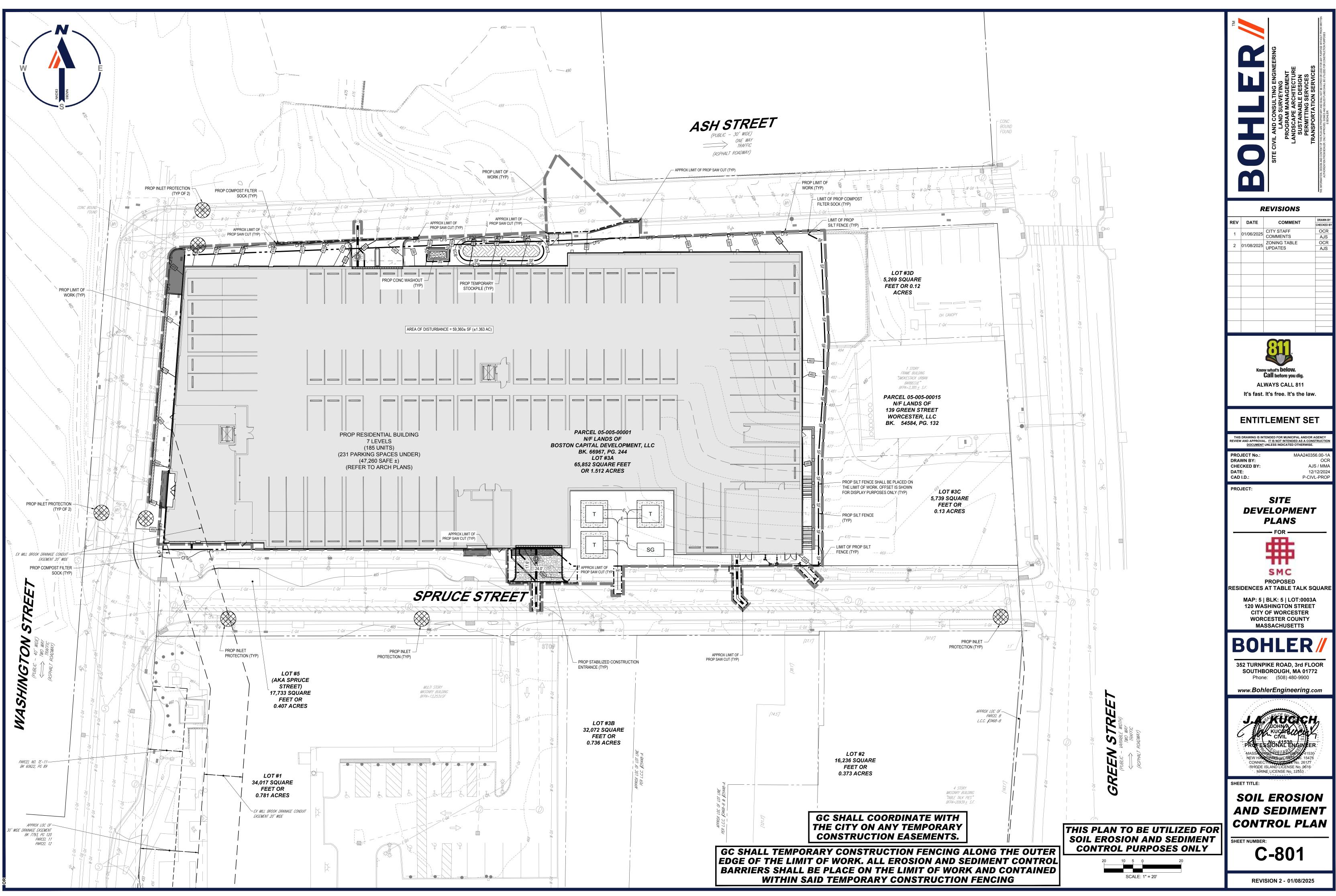




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MASSACHUSETTS EROSION AND SEDIMENT CONTROL NOTES GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND FROSION CONTROL MANUAL THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION
- PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS) SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE
- CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES **GREATER THAN 8%**
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSI OPE ARE PERMANENTLY STABILIZED FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT
- RECOMMENDED SEEDING PERIOD. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL,
- STATE, AND FEDERAL STANDARDS REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
-) SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT, APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 | B PER 1 000 SE)
- FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BULE-GRASS 44% CREEPING RED FESCUE AND 12% PERENNIAL RYEGRASS' SEEDING RATE IS 1.03 LBS PER 1.000 SE LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOD ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
- STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS. WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION
- THEREOF ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED:

LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF) 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

THAN 3:1

- * A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL. * MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD
- CELLULOSE FIBER (750 LBS/ACRE): CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION.SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND
- FEDERAL REQUIREMENTS) TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMEN" CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1 800 CE PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION. AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILING OF MATERIALS (DIRT. WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED
- 18. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES. 20 FROSION CONTROL NOTES DURING WINTER CONSTRUCTION
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED
- WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED. MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF
- NOVEMBER 1ST AND APRIL 1ST. LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS: a) BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE
- EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT

- THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND
- AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 1.363 ACRES THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
- ON-SITE
- TEMPORARY FILL AND SOIL STOCKPILES WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
- RECOMMENDATIONS
- SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION. CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BES
- MANAGEMENT PRACTICES. TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- SUCH COSTS
- AND THE ESTABLISHMENT OF VEGETATION. VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
- DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE . THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE
- AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
- OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL C

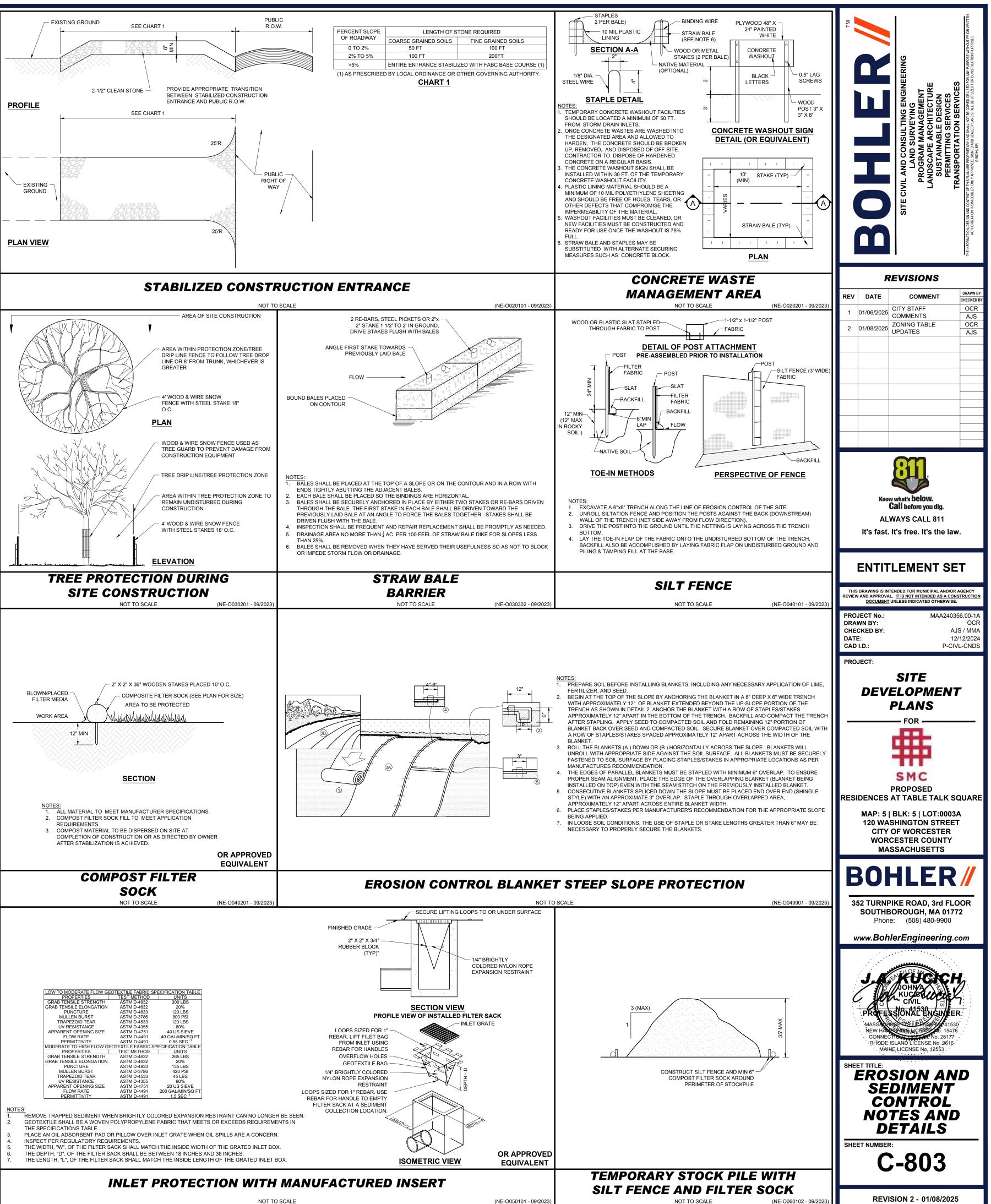
SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY. IN WRITING, DIRECTS OTHERWISE, INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY STABILIZED CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED

SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED T REDUCE THE QUANTITY OF SEDIMENT, INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S

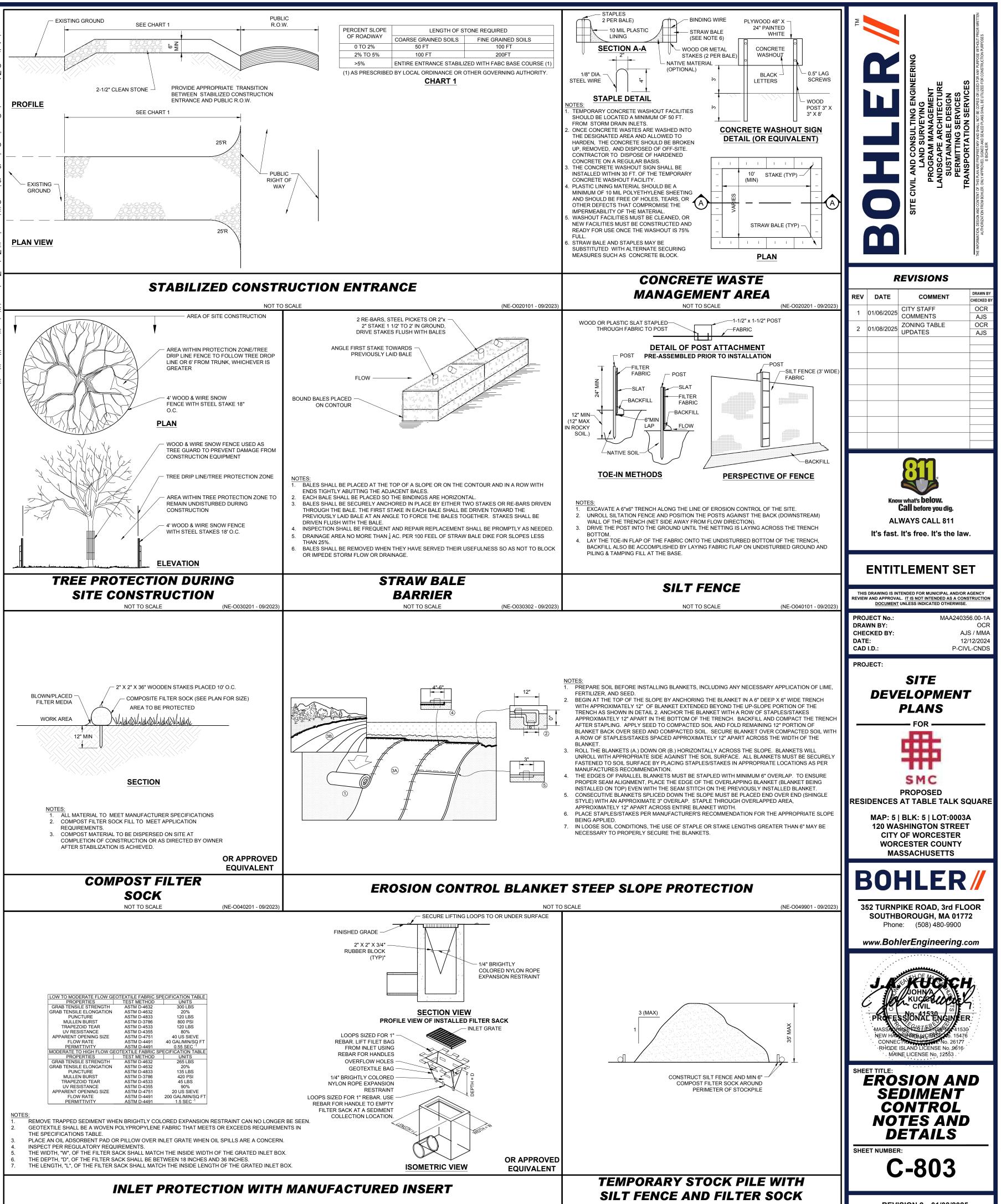
THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SIL THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE

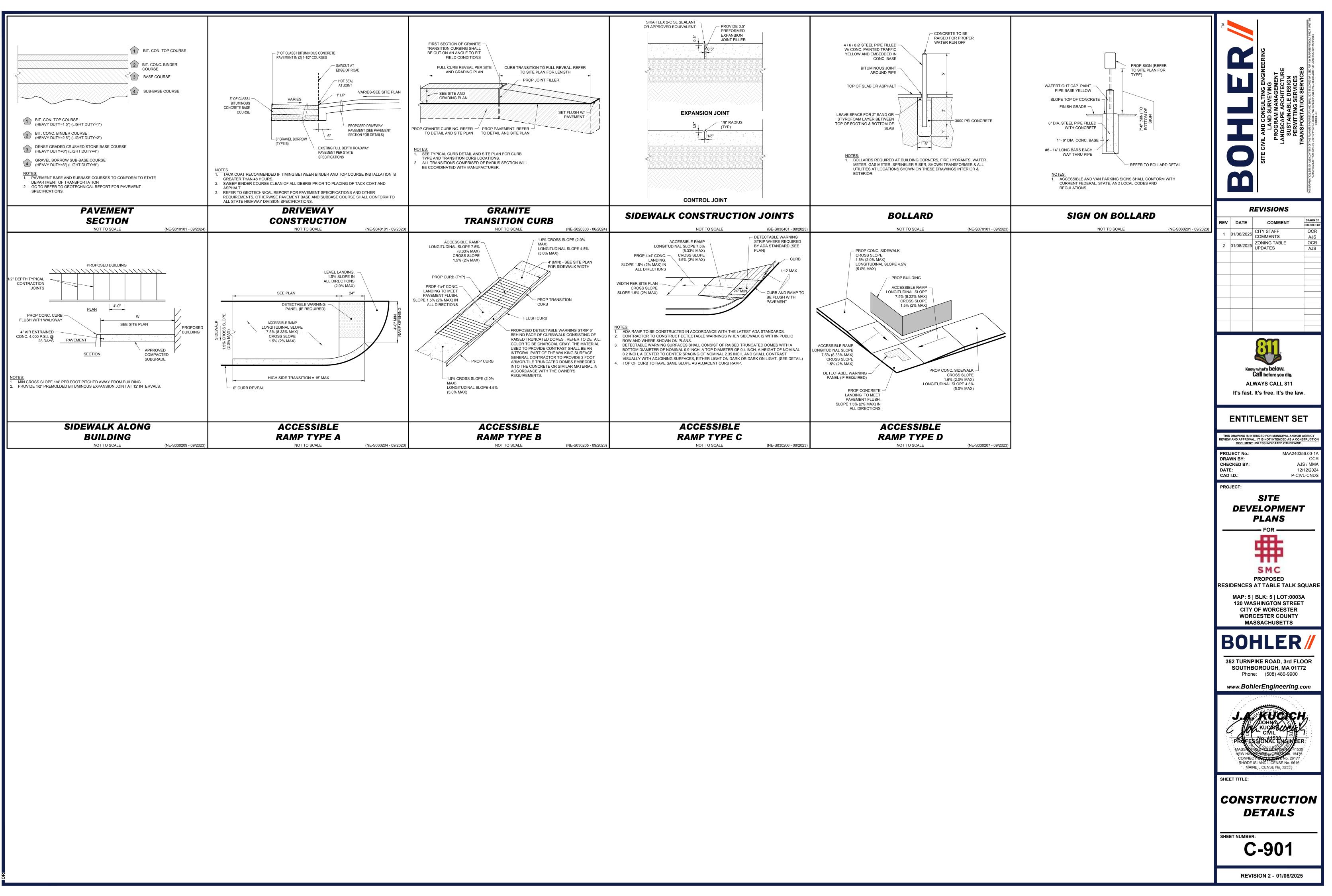
THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SIT UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALI 10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION 11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANEN 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTRO FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL

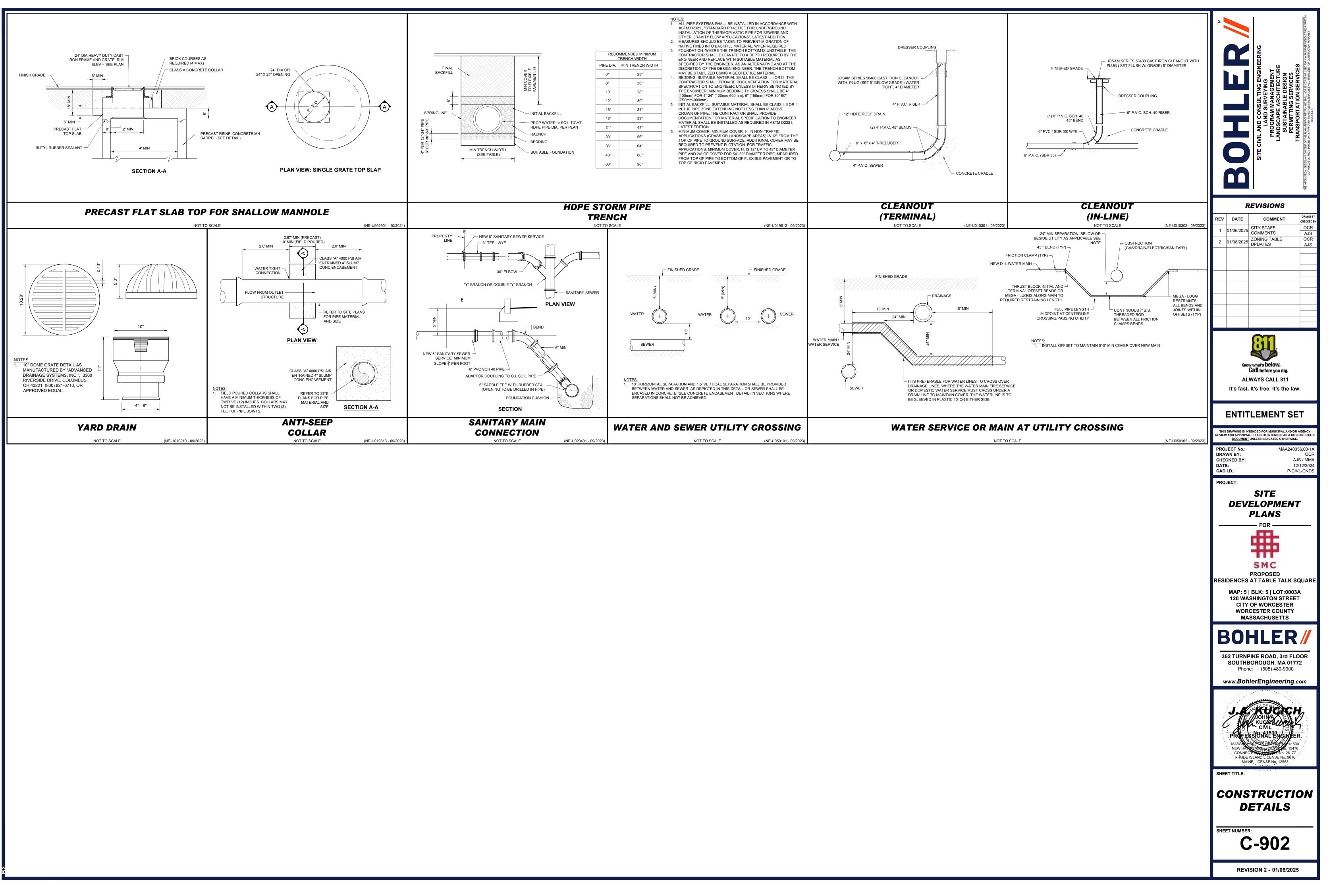
15 THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFE-SIT AS THE JURISDICTIONAL AGENCY REQUIRES BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. 6. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SIT THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRET

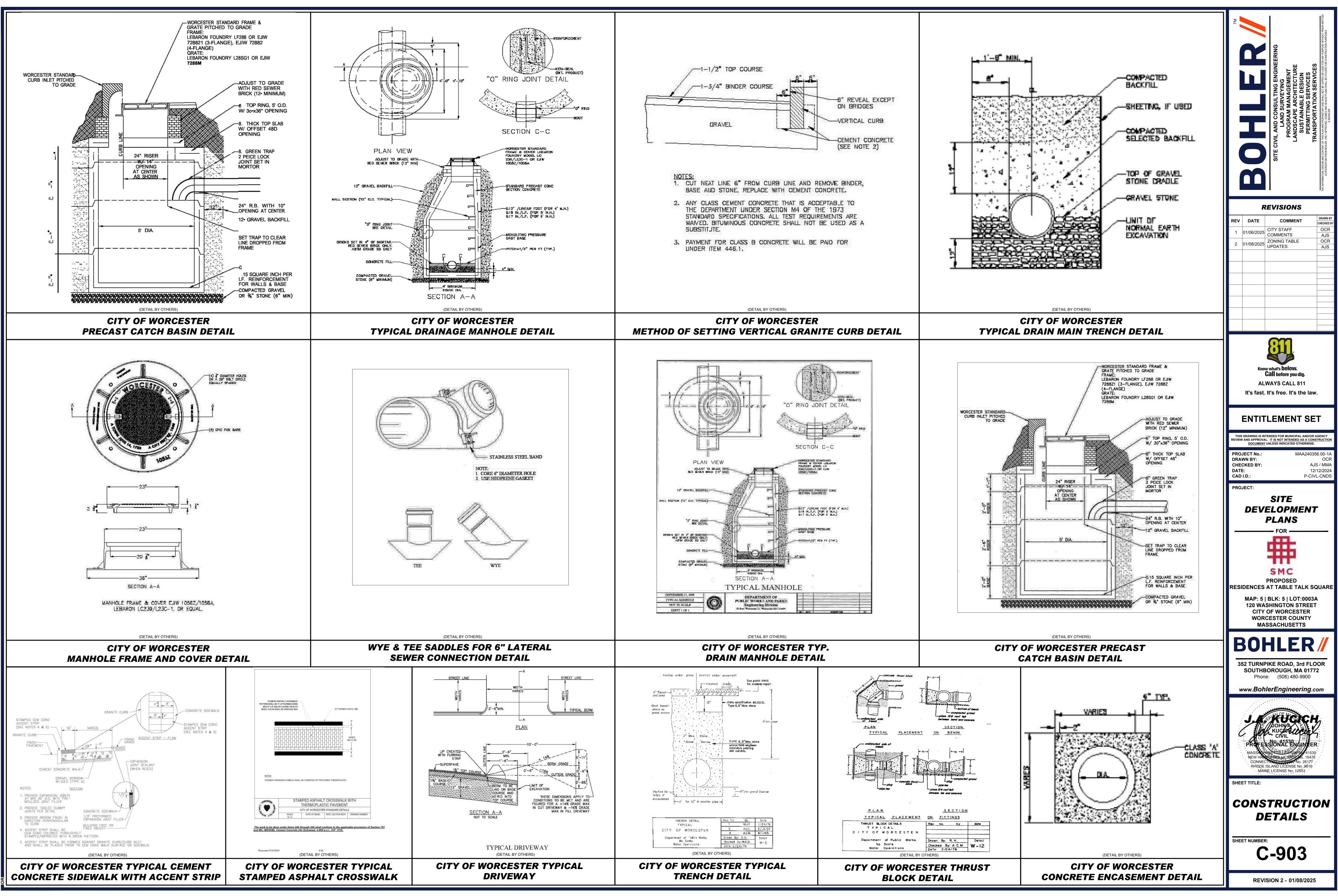


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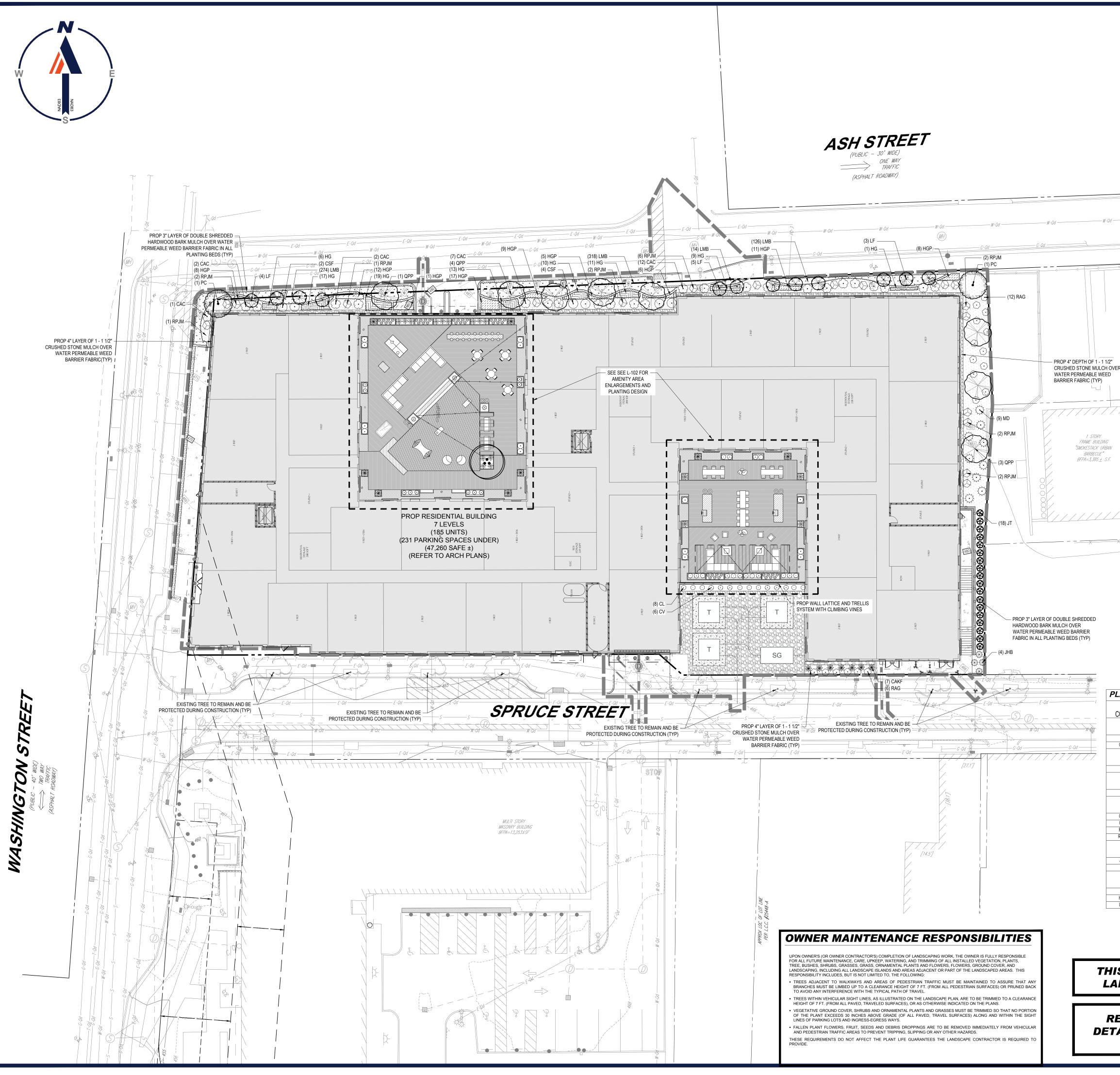










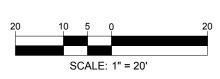


		CITY OF WORCESTER	
	SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
	ARTICLE IV. SECTION-7 (NOTE -5 <u>A&B)</u> PARKING LOCATION AND LAYOUT REQUIREMENTS	WITH THE EXCEPTION OF RESIDENTIAL DRIVEWAYS AND COMMON DRIVEWAYS, PARKING FACILITIES SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL BOUNDARY LINES TO PROVIDE A BUFFER AREA FROM ABUTTING LOTS. THE BUFFER AREAS SHALL CONSIST OF PERMEABLE SURFACES AND SHALL BE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION-5(C).	INTERIOR PARKING PROVIDED
	FOR ALL ZONING DISTRICTS (PG. # 105 - 106)	THE PARKING OR STORAGE OF MOTOR VEHICLES IS NOT PERMITTED IN THE FRONT YARD OR REQUIRED FRONT YARD SETBACK, WHICHEVER IS LESS, OR THE EXTERIOR SIDE YARD OR REQUIRED EXTERIOR SIDE YARD SETBACK, WHICHEVER IS LESS	PROVIDED
		PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL HAVE LANDSCAPING IN THE INTERIOR OF THE PARKING LOT IN ADDITION TO LANDSCAPING ALONG THE EDGES OF THE LOT.	N/A
	ARTICLE IV. SECTION-7 (NOTE 6)	AT LEAST ONE (1) TREE SHALL BE PLANTED WITHIN THE PARKING LOT (INTERIOR FOR EVERY TEN (10) PROPOSED AND EXISTING SPACES. SUCH INTERIOR TREES SHALL BE IN ADDITION TO TREES REQUIRED ALONG THE EDGES OF THE LOT.	N/A
	INTERIOR LANDSCAPING	INTERIOR TREES SHALL BE PLANTED IN PLANTING BEDS NO SMALLER THAN FIVE FEET BY FIVE FEET (5' X 5').	N/A
₩-C }	(PG. # 106)	PARKING SPACES ABUTTING A LANDSCAPED SETBACK AREA (AS DESCRIBED IN NOTE 5, ABOVE) AND IN COMPLIANCE WITH ARTICLE V, SECTION-5(C) OF THIS ORDINANCE, HOWEVER, SHALL NOT BE COUNTED IN THE CALCULATION WHEN DETERMINING THE NUMBER OF INTERIOR TREES REQUIRED.	N/A
		TREES SHALL BE LOCATED IN SUCH A MANNER AS TO PROVIDE SHADE OVER THE GREATEST NUMBER OF PARKING SPACES PRACTICABLE.	N/A
-0		A. LANDSCAPE SCREENING SHALL BE REQUIRED ALONG THE SIDEWALK EDGE AND SIDE LOT LINES WHERE THE PARKING, WORK OR SERVICE AREA OF A PROPOSED PROJECT ABUTS A STREET, PUBLIC PARK OR RESIDENTIAL PROPERTY.	PROVIDED WHERE POSSIBLE
		B. LANDSCAPING SCREENING SHALL CONSIST OF PLANTING AREAS AT LEAST FIVE (5) FEET WIDE LOCATED ALONG THE SIDEWALK EDGE AND/OR SIDE LOT LINES OF A PROPOSED USE. LANDSCAPE SCREENING AREAS SHALL BE SEPARATED FROM PARKING AREAS BY A SIX-INCH HIGH CURB. TREES SHALL BE THE MAJOR ELEMENTS OF LANDSCAPE SCREENING. A COMBINATION OF PLANT MATERIALS, TREES AND SHRUBS SHALL BE INCLUDED IN LANDSCAPE SCREENING AREAS. FENCING MAY BE USED,IN COMBINATION WITH TREES AND SHRUBS, WHEN APPROPRIATE.	PROVIDED WHERE POSSIBLE
R OH CANOPY - E-Qd	ARTICLE V, SECTION-5 (C)	I. TREES: TREES SHALL BE PLANTED EVERY TWENTY (20) TO TWENTY-FIVE (25) FEET ON CENTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST THREE (3) TO THREE AND ONE-HALF (3 1/2) INCHES IN DIAMETER WHEN MEASURED SIX (6) INCHES ABOVE THE GROUND.	PROVIDED
777777	LANDSCAPING DESIGN STANDARDS (PG. # 177)	II. SHRUBS: SHRUBS SHALL BE PLANTED ALONG WITH TREES IN A LANDSCAPE SCREENING AREA. SHRUBS MAY BE DECIDUOUS OR EVERGREEN, OR A MIXTURE OF BOTH TYPES, AND SHALL BE DENSELY PLANTED TO PROVIDE A MATURE APPEARANCE WITHIN THREE (3) YEARS. FOR LANDSCAPE SCREENING AREAS ALONG A SIDEWALK EDGE, SHRUBS SHALL BE NO TALLER THAN FOUR (4) FEET HIGH.	PROVIDED
////// X=		III. FENCING: FENCING IN A LANDSCAPE SCREENING AREA ALONG A SIDEWALK EDGE SHALL BE INSTALLED JUST INSIDE THE PROPERTY LINE. SUCH FENCE SHALL BE THREE (3) TO FOUR (4) FEET IN HEIGHT AND AT LEAST FIFTY PERCENT (50%) PERFORATED. DECORATIVE APPROPRIATE FOR SIDEWALK EDGES. FENCING SHALL BE LOCATED UP TO OR WITHIN A THREE-FOOT DISTANCE FROM THE PROPERTY LINE. SUCH FENCING SHALL BE OPAQUE. HIGH FENCES THAT COVER LONG DISTANCES SHALL HAVE SURFACE TEXTURES TO MINIMIZE THEIR SIZE. A WOODEN SHADOWBOX FENCE IS AN EFFECTIVE SCREEN BETWEEN PROPERTIES. IN GENERAL, CHAIN LINK FENCING IS TO BE DISCOURAGED. IF CHAIN LINK FENCING IS USED, IT SHALL BE LIMITED TO SMALL AREAS AND SHALL BE VINYL-COATED CHAIN LINK. THE PLANNING BOARD SHALL DETERMINE THE COLOR OF THE VINYL COATING TO BE USED.	N/A
	ARTICLE V, SECTION-5 (C) MAINTENANCE OF LANDSCAPED AREAS (PG. # 179)	REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, FREE OF REFUSE AND DEBRIS, AND ANY PLANTINGS THAT DO NOT SURVIVE SHALL BE REPLACED IN KIND BY THE APPLICANT OR PROPERTY OWNER WITHIN A REASONABLE PERIOD OF TIME. ALL PLANT MATERIAL AND FENCING SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. THERE SHALL BE NO PARKING OF VEHICLES OR SNOW STORAGE IN AREAS USED FOR SCREENING AND BUFFERING.	PROVIDED
	<u>ARTICLE V,</u> <u>SECTION-6(F)</u> LANDSCAPED PARKING BUFFERS (PG. # 205)	LANDSCAPING BUFFERS FOR PARKING AREAS SHALL BE A MINIMUM OF THREE (3) FEET IN WIDTH WITH MINIMUM FIVE (5) FEET BY FIVE (5) FEET TREE PLANTING AREAS FOR REQUIRED TREE PLANTINGS. LANDSCAPING BUFFERS FOR PARKING AREAS BORDERING THE FRONT YARD SETBACK, DRIVE-THROUGH LANES OR DRIVE-THROUGH ESCAPE LANES SHALL BE A MINIMUM OF FIVE (5) FEET IN WIDTH.	N/A

CODE QTY BOTANICAL NAME COMMON NAME SIZE CONTAINER TREES UF 12 LIDUIDAMBAR STYRACIPLUA TASTIGIATA' COLUMNAR SWEET GUM 3"3.5" CAL. B&B QPP 8 QUERCUS PALUSTRIS 'PRINGREEN GREENPILLAR PIN OAK 3"3.5" CAL. B&B UPP REVENTINGREEN GREENPILLAR PIN OAK 3"3.5" CAL. B&B DEVERGREEN TREES JT 18 JUNPERUS VIRGINIANA TAYLOR TAYLOR EASTERN REDCEDAR 6-8" B&B ORNAMENTAL TREES PC 2 PRUNUS SARGENTIL'COLUMNARIS' COLUMNAR SARGENT CHERRY 3"-3.5" CAL. B&B CAC 24 CLETHRA ALNIFOLIA 'COMPACTA' COMPACT SUMMERSWEET 24-30' CONTAINER CSF 6 CORNAUS STOLOMERA FARROW ARCTIC FIRE RED TWICE DOGWOOD 2-3 CONTAINER RAG 12 RHUS AROMATICA' GRO-LOW GRO-LOW FRAGRANT SUMAC 15-18' CONTAINER RPJM 18 RHODODENDRON X 'PJM' 'PJM' RHODODENDRON 24-30' CONTAIN	PLANT	PLANT SCHEDULE PERIMETER					
TREES LF 12 Liquidambar styraciflua 'fastigiata' Columnar sweet gum 3*3.5' Cal. B&B QPP 8 Quercus palustris' pringreen' Greenpillar pin oak 3*3.5' Cal. B&B EVERGREEN TREES JT 18 JUNIPERUS VIRGINIANA TAYLOR TAYLOR EASTERN REDCEDAR 6-8' B&B ORNAMENTAL TREES PC 2 PRUNUS SARGENTII 'COLUMNARIS' COLUMNAR SARGENT CHERRY 3'-3.5' Cal. B&B ORNAMENTAL TREES PC 2 PRUNUS SARGENTII 'COLUMNARIS' COLUMNAR SARGENT CHERRY 3'-3.5' Cal. B&B SHRUBS CAC 24 OLETHRA ALINFOLIA 'COMPACTA' COMPACT SUMMERSWEET 24-30' CONTAINER CSF 6 CORNUS STOLONIFERA 'FARROW' ARCTIC FIRE RED TWIG DOGWOOD 2-3' CONTAINER RAG 12 RHUS AROMATICA 'GOLOW' GROLOW FRAGRANT SUMAC 15-18' CONTAINER RPUM 18 RHODODENDRON X 'PJM' 'PJM' RHODODENDRON 24-30' CONTAINER GROUNDCOVER <th colsp<="" th=""><th>0005</th><th>AT/</th><th></th><th>001/1011111/5</th><th>0.75</th><th></th></th>	<th>0005</th> <th>AT/</th> <th></th> <th>001/1011111/5</th> <th>0.75</th> <th></th>	0005	AT /		001/1011111/5	0.75	
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MD 9 MICROBIOTA DECUSSATA SIBERIAN CARPET CYPRESS 15-18" SPRD CONTAINER PERENNIALS HG 86 HOSTA X 'GREAT EXPECTATIONS' GREAT EXPECTATIONS HOSTA 1 GAL. CONTAINER HGP 77 HEUCHERA X 'GEORGIA PEACH' GEORGIA PEACH CORAL BELLS 1 GAL. CONTAINER							
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HGP 77 HEUCHERA X 'GEORGIA PEACH' GEORGIA PEACH CORAL BELLS 1 GAL. CONTAINER			PEF	RENNIALS			
LMB 732 LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF 1 GAL. CONTAINER							
	LMB	732	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER	

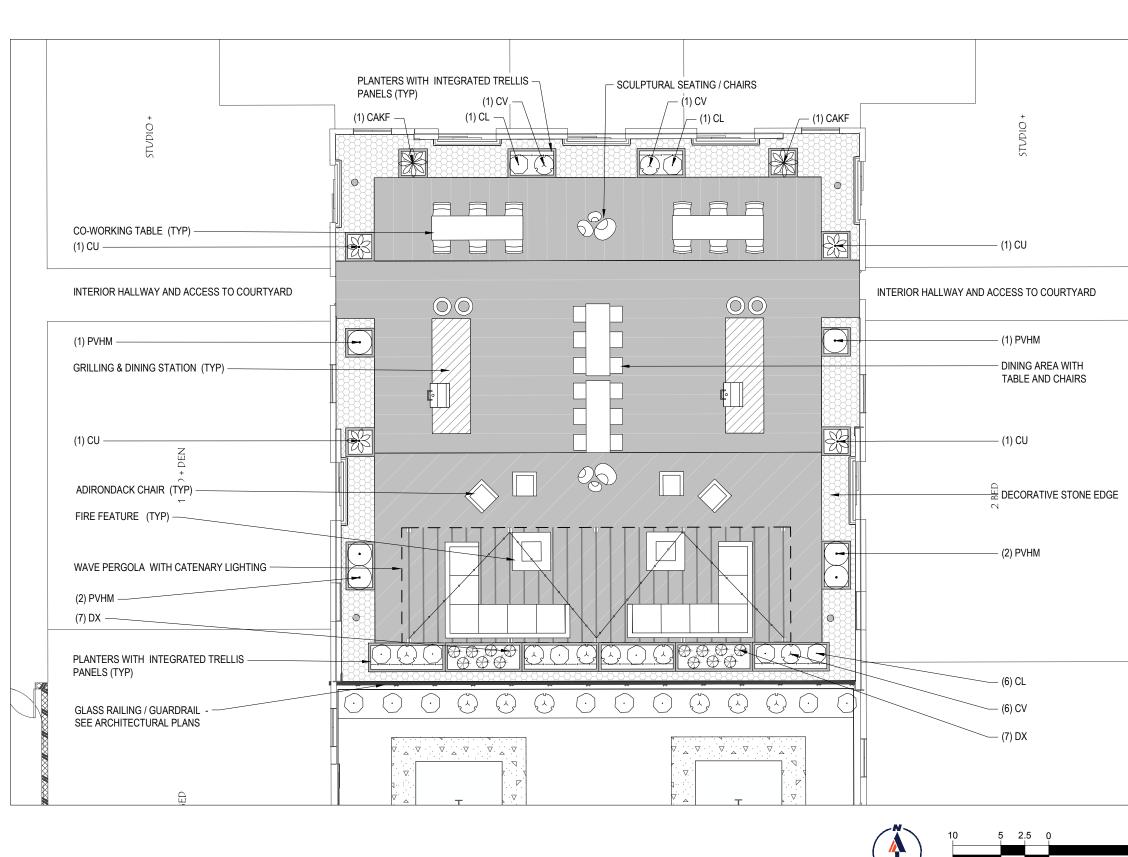
THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS

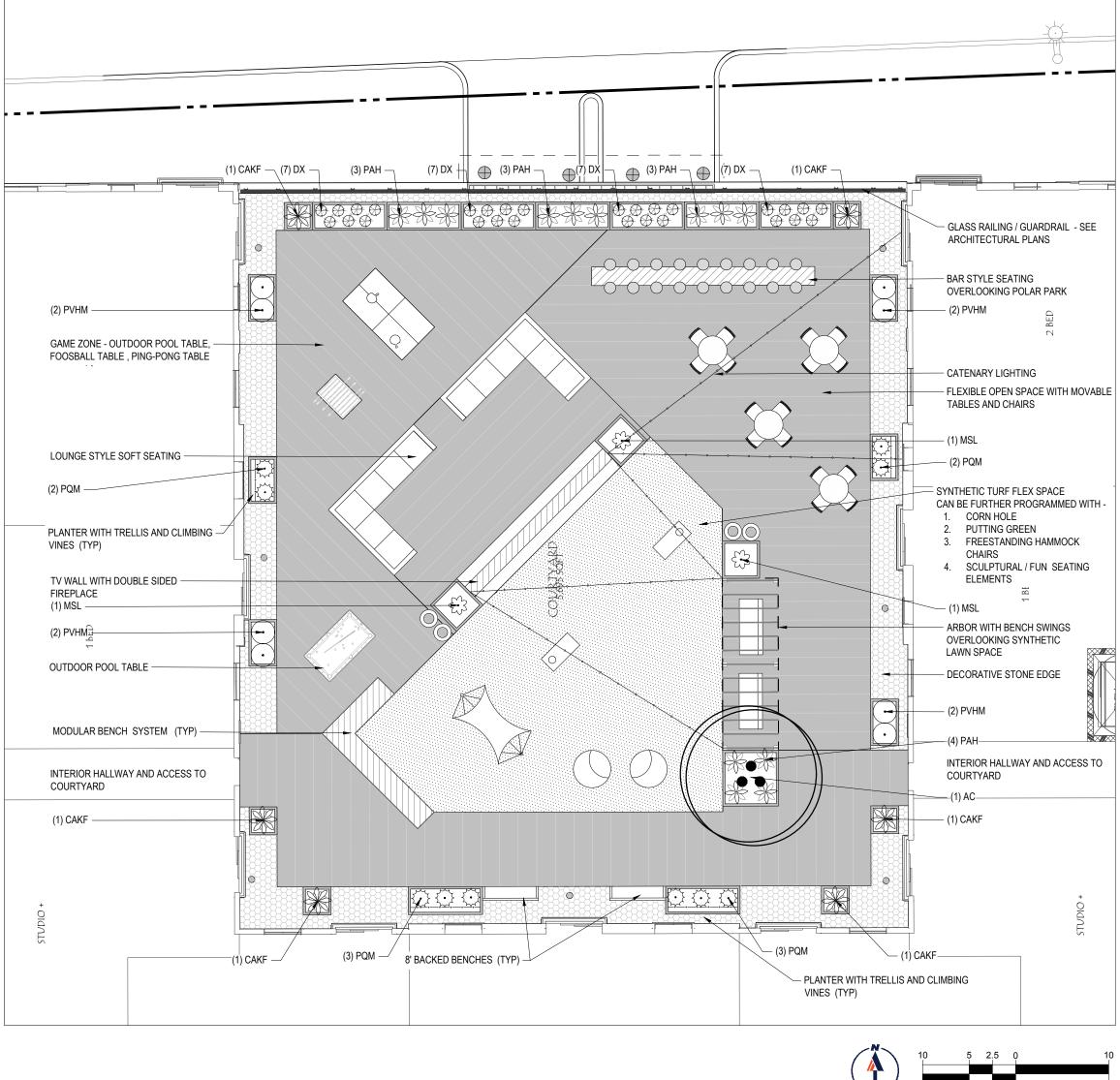




SOUTH COURTYARD PLAN ENLARGEMENT



NORTH COURTYARD PLAN ENLARGEMENT



CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
		ORNAMENTAL	TREES		
AC	1	AMELANCHIER CANADENSIS	MULTI-STEM SHADBLOW SERVICEBERRY	8-10`	B&B
		SHRUB	S		
DX	28	DEUTZIA X 'NCDX1'	YUKI SNOWFLAKE® DEUTZIA	15-18"	CONTAINER
		GRASSE	S		
CAKF	6	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`	FEATHER REED GRASS	1 GAL.	CONTAINER
MSL	3	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	1 GAL.	CONTAINER
PAH	13	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL.	CONTAINER
PVHM	8	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER
		VINES			
PQM	10	PARTHENOCISSUS QUINQUEFOLIA 'MONHAM'	STAR SHOWERS® VIRGINA CREEPER	1 GAL.	CONTAINER

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SCALE: 1" = 10'

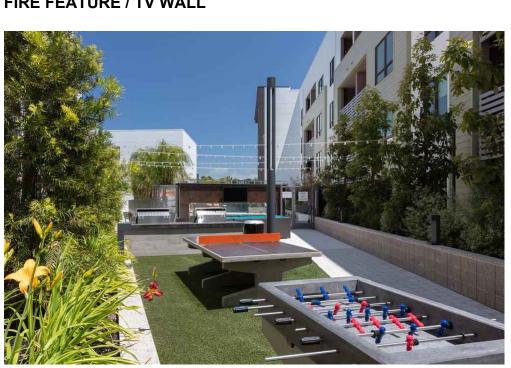
SCALE: 1" = 10'



SYNTHETIC TURF FLEX SPACE



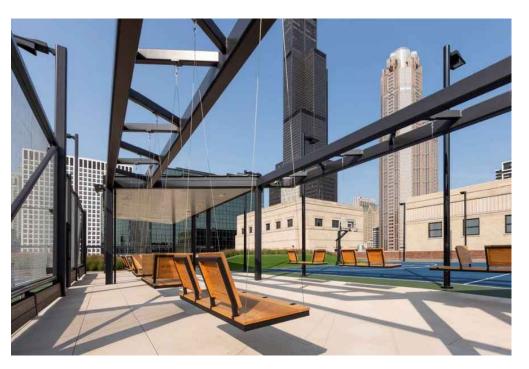
FIRE FEATURE / TV WALL



OUTDOOR GAME ZONE - FOOSBALL AND PING-PONG TABLE



DECORATIVE STONE PERIMETER EDGE



BENCH SWING AND ARBOR

PLANT	SCHEDU	ILE SOUTH COURTYARD			
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
		SHRUBS			
DX	14	DEUTZIA X 'NCDX1'	YUKI SNOWFLAKE® DEUTZIA	15-18"	CONTAINER
		GRASSES	3		
CAKF	2	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER
CU	4	CENCHRUS ALOPECUROIDES 'RED HEAD'	RED HEAD FOUNTAIN GRASS	1 GAL.	CONTAINER
PVHM	6	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER
		VINES			
CL	8	CLEMATIS X 'FRAGRANT STAR'	VANCOUVER™ FRAGRANT STAR CLEMATIS	1 GAL.	CONTAINER
CV	8	CLEMATIS X 'VANSO'	BLUE LIGHT® CLEMATIS	1 GAL.	CONTAINER



GREEN SCREEN PLANTER WITH CLIMBING VINES

PRECEDENT IMAGES





ARBOR - WAVE ELEMENTS TO COMPLIMENT BUILDING FACADE



GLASS RAILING AND PLANTERS



FIRE PIT SEATING



GRILLING / DINING ISLANDS



TABLES, CHAIRS, PLANTERS AND SURFACE MATERIAL



A CONTRACTOR A CON	TRANSPORTATION SERVICES THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER
REVISIONS	DRAWN BY CHECKED BY
1 01/06/2025 CITY STAFF COMMENTS 2 01/08/2025 ZONING TABLE UPDATES	OCR AJS OCR AJS
Know what's below. Call before you dig. ALWAYS CALL 811 It's fast. It's free. It's the la	w.
ENTITLEMENT SI	ET
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/O REVIEW AND APPROVAL. I <u>T IS NOT INTENDED AS A CC</u> <u>DOCUMENT</u> UNLESS INDICATED OTHERWIS	INSTRUCTION
DRAWN BY: CHECKED BY: A DATE: 1	356.00-1A OCR AJS / MMA 12/12/2024 CIVL-LSCP
PROJECT: SITE DEVELOPMEN PLANS FOR FOR PROPOSED RESIDENCES AT TABLE TALK S MAP: 5 BLK: 5 LOT:000 120 WASHINGTON STREE CITY OF WORCESTER WORCESTER COUNTY MASSACHUSETTS	SQUARE 3A ET
BOHLER 352 TURNPIKE ROAD, 3rd FL SOUTHBOROUGH, MA 017 Phone: (508) 480-9900 www.BohlerEngineering	.00R 772
Manuel Construction of the second sec	
SHEET TITLE: LANDSCAP PLAN PLAN ENLARGEMEN SHEET NUMBER: L-102	

REVISION 2 - 01/08/2025

LANDSCAPE SPECIFICATIONS

-	<u>DPE OF WORK:</u> THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION,	9.3.	ANY INJURED ROOTS OR BRANCHES SHARP TOOLS. ONLY INJURED OR DI
1.1.	PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT. UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.	9.4.	ALL PLANTING CONTAINERS, BASKET PLANTING. NATURAL FIBER BURLAP I
2. <u>MA</u>			ROOT BALL PRIOR TO BACKFILLING.
2.1.	GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT	9.5.	POSITION TREES AND SHRUBS AT THI LANDSCAPE ARCHITECT PRIOR TO EX
2.2.	OF TRANSPORTATION'S SPECIFICATIONS. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN	9.6.	PRIOR TO THE ISSUANCE OF ANY CEF
2.2.	4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.		LANDSCAPE PLAN, MUST BE INSTALLE SHALL TAKE INTO ACCOUNT SEASON
2.3.	LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE	0.0.4	VINES OR GROUND COVER SHALL OC
	LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN	9.6.1 9.6.2	
2.3.1.		9.6.3	
2.3.2.			SEASON AT THE MUNICIPALITY'S SUBSTITUTIONS.
2.4.	SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH,	9.7.	FURTHERMORE, THE FOLLOWING TRE
2.4.	UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS.		SHOCK AND THE SEASONAL LACK OF RECOMMENDED THAT THESE SPECIE
	FERTILIZER		ACER RUBRUM
2.5.1.	SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE		BETULA VARIETIES CARPINUS VARIETIES
0.5.0			CRATAEGUS VARIETIES KOELREUTERIA
2.5.2.	POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED		LIQUIDAMBAR STYRACIFLUA
2.6	SOIL LABORATORY. PLANT MATERIAL		LIRIODENDRON TULIPIFERA
2.0.		9.8.	PLANTING PITS SHALL BE DUG WITH L SHALL REST ON UNDISTURBED GRAD
	STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).	0.0.1	SOIL MIXED THOROUGHLY:
2.6.2.		9.8.1. 9.8.2	
2.6.3.		9.8.3	
2.6.4.	OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE	9.8.4	
2.0.4.	NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY		4.1. 2 TABLETS PER 1 GALLON PL4.2. 3 TABLETS PER 5 GALLON PL
2.6.5.	TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL		4.3. 4 TABLETS PER 15 GALLON P
	DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.		4.4. LARGER PLANTS: 2 TABLETS FILL PREPARED SOIL AROUND BALL C
2.6.6.	CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6")		THOROUGHLY.
	ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT	9.10.	ALL PLANTS SHALL BE PLANTED SO T AT GROUND LEVEL AND IN THE CENT
	12" ABOVE THE NATURAL GRADE.	9.11.	ALL PROPOSED TREES DIRECTLY AD.
2.6.7. 2.6.8.		9 12	MINIMUM BRANCHING HEIGHT OF 7' FI GROUND COVER AREAS SHALL RECE
	VERAL WORK PROCEDURES	0.12.	PLANTING. ALL GROUND COVER ARE
	CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE	9.13	MANUFACTURER'S RECOMMENDATIO NO PLANT, EXCEPT GROUND COVERS
	IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.		STRUCTURES AND SIDEWALKS.
3.2.	WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT	9.14.	ALL PLANTING AREAS AND PLANTING SAUCER. NO MULCH IS TO TOUCH TH
4 SITI	BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE. E PREPARATIONS	9.15.	ALL PLANTING AREAS SHALL BE WAT
	BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE	10 TR/	SPECIFICATIONS AS LISTED HEREIN. ANSPLANTING (WHEN REQUIRED)
	ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.		ALL TRANSPLANTS SHALL BE DUG WI
4.2.	ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND	10.2.	IF PLANTS ARE TO BE STOCKPILED BE
	STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR	10.3	WATERED AND PROTECTED FROM EX PLANTS SHALL NOT BE DUG FOR TRA
	BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.		UPON REPLANTING, BACKFILL SOIL SI
4.3.	CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO	10.5.	TRANSPLANTS SHALL BE GUARANTEE
	INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.	10.6.	F TRANSPLANTS DIE, SHRUBS AND TR THAN SIX INCHES (6") DBH MAY BE RE
5. <u>TRE</u>	E PROTECTION		REPLACEMENT GUIDELINES.
5.1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER.	11. <u>WA</u>	
	LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.	11.1.	NEW PLANTINGS OR LAWN AREAS SH SHALL BE APPLIED TO EACH TREE AN
5.2.	A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS		MATERIALS IN THE PLANTING HOLE A ESTABLISHED.
5.3.	SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO	11.2.	SITE OWNER SHALL PROVIDE WATER CONTRACTOR SHALL SUPPLY ALL NE
5.3.	DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE		PLANTED TREES.
	SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.	11.3.	IF AN IRRIGATION SYSTEM HAS BEEN ANY FAILURE OF THE SYSTEM DOES I
5.4.	AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.		MOISTURE LEVEL FOR VIGOROUS, HE
6. SOI	L MODIFICATIONS		<u>ARANTEE</u> THE LANDSCAPE CONTRACTOR SHAL
6.1.	CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS	12.1.	INSTALLATION BY THE APPROVING AC
6.2.	SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH		PERCENT (10%) OF THE VALUE OF TH GUARANTEE PERIOD AND WHEN A FIN
0.2.	OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.	10.0	REPRESENTATIVE. ANY DEAD OR DYING PLANT MATERIA
6.3.	THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION	12.2.	PLANT MATERIAL SHALL BE CONDUCT
	OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.	12.3.	OFF-SITE, WITHOUT EXCEPTION. TREES AND SHRUBS SHALL BE MAINT
6.3.1.			MAINTENANCE PERIOD AS SPECIFIED SHALL BE PERFORMED AS NECESSAF
	TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH	12.4.	LAWNS SHALL BE MAINTAINED THROU
6.3.2.	HIGHER THAN 7.5. TO INCREASE DRAINAGE. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE		SUCH AS ROLLING, REGARDING AND ERODED OR BARE AREAS.
0.3.Z.	BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO	13. <u>CLE</u>	EANUP
	BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.	13.1.	UPON THE COMPLETION OF ALL LAND REMOVE ALL UNUSED MATERIALS. EQ
6.3.3.	MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.	13.2.	THE SITE SHALL BE CLEANED AND LE
7. FIN	ISHED GRADING		
	UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF		INTENANCE (ALTERNATIVE BID): A 90 DAY MAINTENANCE PERIOD SHA
7.0	TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.	17.1.	MAINTENANCE PERIOD ENSURES TO
7.2.	LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).		MAINTAINED AS SPECIFIED ON THE AF EXPIRED, THE OWNER/OPERATOR MA MAINTENANCE CONTRACT. THE ALTE
7.3.	ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT		APPROPRIATE TO ENSURE THAT PLAI
	ENGINEER OR LANDSCAPE ARCHITECT.		OWNER/OPERATOR.
7.4.	ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS.		CONSTRUCTION
8. <u>TOF</u>	PSOILING		THE AND THE AN
8.1.	CONTRACTOR SHALL PROVIDE A <u>6"</u> THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO		
	ACHIEVE THE DESIRED COMPACTED THICKNESS.		
8.2.	ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.		
8.3.	CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE		
	UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.		STATINAL ST
8.4.	ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE		PLAN
	FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE		W THINK I
8.4.1.	FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER		LANNA LA
8.4.2.			
8.5.	THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.		
9. <u>PLA</u>			
9.1.	INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN		
	UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.		
9.2.	PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL		
	CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.		
			TREE PROTE

OTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, NLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. NTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING RAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE HITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

SUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED I, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY

ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, ID COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

RCH 15 TO DECEMBER 15 CH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL

THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

PECIE	5 BE PLANTED DURING THE FAL
	PLATANUS X ACERIFOLIA
	POPULUS VARIETIES
	PRUNUS VARIETIES
S	PYRUS VARIETIES
	QUERCUS VARIETIES
IFLUA	TILIA TOMENTOSA
FERA	ZELKOVA VARIETIES

NDRON TULIPIFERA ZELKOVA VARIETIES HALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL JNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED

POSTED COW MANURE BY VOLUME

SOIL BY VOLUME GRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: TS PER 1 GALLON PLANT

FS PER 5 GALLON PLANT TS PER 15 GALLON PLANT

PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

OIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER

L BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET EL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. REES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A HING HEIGHT OF 7' FROM GRADE.

AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO ROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER S RECOMMENDATION.

PT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING

REAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR _CH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB. REAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING AS LISTED HEREIN. EN REQUIRED)

S SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

D BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY ROTECTED FROM EXTREME HEAT, SUN AND WIND.

OT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. NG, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

HALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE

OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKEILL AND TO THE EXTENT THAT ALL E PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE

LL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, ALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY

SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED FOR VIGOROUS, HEALTHY GROWTH.

CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN F THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE IOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED

ING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF UT EXCEPTION

JBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY ERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS RMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS 3, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF

LETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL JSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR PRESENTATIVE.

NANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY FRIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN PECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS VNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY ONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED) ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE

> TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY

DRIP LINE OR PROPOSED LIMITS OF

4' HIGH WOOD & WIRE SNOW FENCE

ON CENTER AS AN OPTION

CONSTRUCTION EQUIPMENT.

REMAIN UNDISTURBED DURING

W/WOOD STAKES AT A MAXIMUM OF 8'

ORANGE/FLUORESCENT HIGH-DENSITY

-WOOD & WIRE SNOW FENCE USED AS

"VISI-FENCE" OR APPROVED EQUAL CAN

TREE GUARD TO PREVENT DAMAGE FROM

TREE DRIP LINE/TREE PROTECTION ZONE

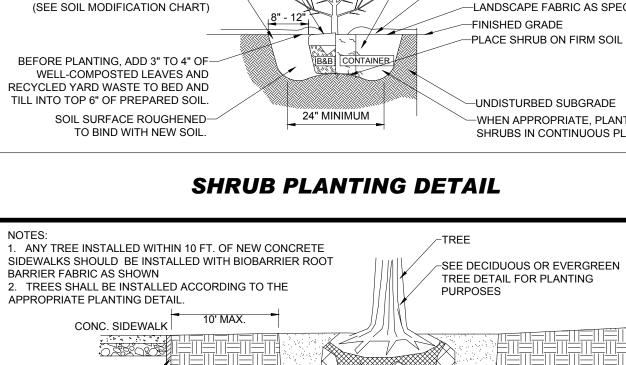
-AREA WITHIN TREE PROTECTION ZONE TO

MAXIMUM CENTER TO CENTER (MINIMUM 2'

- 6' WOOD OR STEEL FENCE POSTS AT 8'

DISTURBANCE.

BE USED.



1.) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.

3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.

7.) SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED.

ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL

REINFORCED RUBBER HOSE (1/2" DIA. BLACK) -

FOLD BURLAP AWAY FROM TOP OF ROOT

12 GAUGE GALVANIZED WIRE GUYS TWISTED

TWICE THE WIDTH OF ROOTBALL FOR

(RECOMMENDATION ONLY. SEE SOIL MOD. CHART)

2" DIA. HARDWOOD STAKES 2/3 TREE HT, 3

PREPARED SOIL FOR TREES.

UNDISTURBED SUBGRADE

TAMP SOIL SOLIDLY AROUND BASE

3 PARTS TOPSOIL

DIG WIDE, SHALLOW HOLE WITH -

PREPARED SOIL FOR TREES

1 PART PEAT MOSS 1 PART COW MANURE

3 PARTS TOPSOIL

TAMPED SIDES

OF ROOT BALL

TIMES DURING THE FIRST MONTH

OF SOIL LAYERS AS

SOIL INTO THE SUBSOIL.

2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF

AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL

5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING

NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING

6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR

VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL.

PER TREE

BIOBARRIER ROOT BARRIER FABRIC OR APPROVED EQUAL **OBARRIER ROOT BARRIER** -FABRIC TO BE INSTALLED TO THE DEPTH OF THE BOTTOM OF STONE BASE

COURSE OR 10' WHICHEVER IS GREATER

TREE TRUNK

MIN. OF THREE (3

TREE

STAKES TO EACH

11

SILILID

BIOBARRIER ROOT BARRIER DETAIL

SPECIFIED ARBORTIE GREEN (OR WHITE) THIS END WRAPPED STAKING AND GUYING MATERIAL IS TO BE AROUND TREE AFTER FLAT WOVEN POLYPROPYLENE MATERIAL. KNOT IS TIGHTENED ³/₄" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE Ship TREE. TYPICAL

> INSTALLATION STEP 1 TIE A SIMPLE KNOT 18-24" FROM EITHER END OF THE ARBORTIE. (DEPENDING ON THE DIAMETER OF THE TREE)

GUYING

THIS END STEP 2: WRAP THIS END AROUND TO STAKE TREE. BEGIN A NEW KNOT BELOW THE KNOT THAT WAS TIED IN STEP 1.

TREE PROTECTION DURING SITE CONSTRUCTION

CONSTRUCTION.

BELOW GRADE).

N.T.S.

ARBORTIE STAKING DETAIL



TREE PLANTING DETAIL

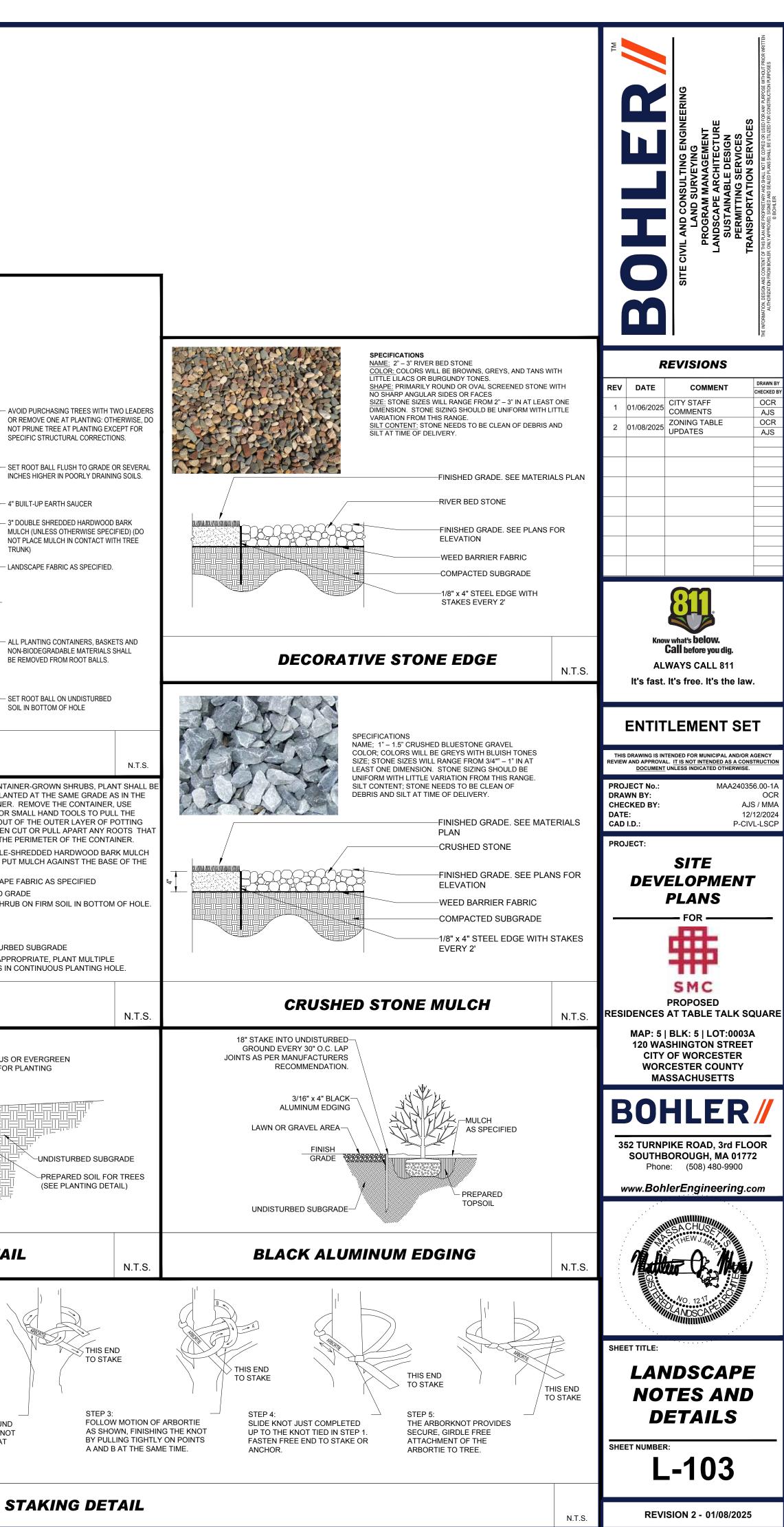
** A

-FOR CONTAINER-GROWN SHRUBS, PLANT SHALL B TRANSPLANTED AT THE SAME GRADE AS IN THE CONTAINER. REMOVE THE CONTAINER, USE FINGER OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS THAT CIRCLE THE PERIMETER OF THE CONTAINER. -3" DOUBLE-SHREDDED HARDWOOD BARK MULCH (DO NOT PUT MULCH AGAINST THE BASE OF THE PLANT).

TRUNK)

-LANDSCAPE FABRIC AS SPECIFIED -FINISHED GRADE -PLACE SHRUB ON FIRM SOIL IN BOTTOM OF HOLE

-UNDISTURBED SUBGRADE -WHEN APPROPRIATE. PLANT MULTIPLE SHRUBS IN CONTINUOUS PLANTING HOLE.





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ANY LIGHT LOCAT 9. IT IS THE LIGHTII 10. 10. 0000000000000000000000000000000	IONS THAT CONFLICT WITH DRAINAGE, UTILITIES	NO DEVICES NECESSARY TO MEET THE DESIGN	ALWA	before you dig. YS CALL 811 s free. It's the law.
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WDGE2 LED Catalog Number	
Architectural Wall Sconce Visual Comfort Optic	CDLED6WD-20W-50D940-K
Image: Specifications Image: Specificat	
W D1 D1D	Cylinders are a complete design solution. They are available in various sizes, mou options, colors and beam angles, and suitable for indoor/outdoor use. Color: Matte black Weight: 8.1 lbs
VDGELED Family Overview Luminate Option Standard EA, 0.0 Cold EM, 20X Series P3 P3 P4 P5 P6 W06E11E0 Visual Comfort UW 18W Standalore / nLight 700 1.200 2.000 3.00 4.500	Technical Specifications Compliance UL Listed: Suitable for wet locations IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80. Electrical Driver: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.18A, 208V: 0.11A, 240V: 0.10A, 277V: 0.09A Dimming Driver: 0 - 10V (at 120-277V), TRIAC and ELV (at 120V only) THD: 12% at 120V, 19.4% at 277V Power Factor: 98.6% at 120V, 89.7% at 277V Optical Optics: 50°
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ^a Intal R2 PIR Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights. DBLBXD Textured black BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points. NLTAI R2 PIR Embedded wireless controls by nLight with U1924 listed emegency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights. DMLGXD Textured black DSLE Dual Switching (1 Driver, 2 Light Engines) Embedded wireless controls by nLight with U1924 listed emegency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights ^a DWHGXD Textured white See page 4 for out of box functionality ComMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDGE2 LED Rev. 08/08/24	Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: w Copyright © 2024 RAB Lighting All Rights Reserved Note: Specifications are subject
System bollard head - Shielded - 360° BEGA Application Type: BEGA system bollard head with shielded 360° light distribution. Simply order the bollard head and also the required bollard tube in various heights and options. Both modules can be joined together easily and quickly during the installation. Type: Materials BEGA (system bollard head with shielded 360° light distribution. Simply order the bollard head and also the required bollard tube in various heights and options. Both modules can be joined together easily and quickly during the installation. BEGA Product: Materials Project: Modified: Clear safety glass Modified: Modified: Materials Project: Modified: We anodized aluminum reflector surface NFTL listed to North American Standards, suitable for wet locations Protection class IP 66 NFTL listed to North American Standards, suitable for wet locations Protection class IP 26 Weight: 8.4lbs. Electrical Qoerating voitage 120-277VAC Minimum start temperature -30° C Electrical -30° C	System bollard tube · With access door Application BEGA system bollard luminaire tube without components. BEGA system bollard tubes are designed for easy attachment to system bollard head using an interlocking mechanism. An accompanying bollard head must selected for proper installation. Materials Marine grade, copper free (≤0.3% copper content) A360.0 aluminum a Extruded aluminum Die-cast aluminum Die-cast aluminum Mechanically captive stainless steel fasteners Interlocking stainless steel mounting mechanism for attachment of hear and tube Pre-wired with 5-pole plug-in connectors for ease of installation Galvanized steel anchorage NRTL listed to North American Standards, suitable for wet locations Protection class IP 65 Weight: 13.0 lbs. Finish
System wattage 19.8W Controllability 0-10V dimmable Color rendering index Ra > 80 Luminaire lumens 1286 im LED service life [L-70) 60000 hrs LED color temperature 4000K (K4) 3000K (K35) 3000K (K35) 3000K (K37) 3000K (K27) BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details Finish All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure@ finish provides superior fade protection in Black, Bronze, and Silver, BEGA standard White is a super durable polyester powder or liquid paint. Available colors CuS Black (BLX) Bronze (BFZ) Silver (SLV) White (WHT) Black (BLX) Bronze (BFZ) Silver (SLV) White (WHT) RAL: CUS:	All BEGA standard finishes are matte, textured powder coat with minim 3 mil thickness. BEGA Unidure@ finish provides superior fade protectio in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint. Available colors Black (BLK) Bronze (BRZ) Silver (SLV) White (WHT) RAL: CUS:
Image:	A · · B System bollard tube · With access door Markow System bollard tube · With access door B <
BEGA SYSTEM BOLLARD HEAD - SHIELDED 360°	BEGA SYSTEM BOLLARI

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Page 1 of 2

Pro	oject:	Туре:	
Pre	epared By:	Date:	
Driver		LED Info	
	Constant Current	Watts	20W
Туре			
120V	0.18A	Color Temp	
120V 208V	0.11A	Color Accurac	y 90 CRI
120V 208V 240V	0.11A 0.10A	Color Accurac R9	y 90 CRI 52
120V 208V 240V 277V	0.11A 0.10A 0.09A	Color Accurac R9 L70 Lifespan	y 90 CRI 52 50,000 Hours
120V 208V 240V 277V	0.11A 0.10A	Color Accurac R9	y 90 CRI 52

Gaskets: High-temperature silicone pan based on IES LM-80 results Green Technology: Mercury and UV free. RoHS-compliant components. Finish: Formulated for high durability and long-lasting color , surface-mount LEDs Installation Mounting: re is warrantied to shift no more mperature over a 5-year period Wall direct light only Other Warranty: RAB warrants that our LED products will be free from) temperature is -30°C (-22°F) defects in materials and workmanship for a period of five (5) years from the date of delivery to the end Cemperature: user, including coverage of light output, color o 40°C (104°F) stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty. Microprismatic Diffusion Lens Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB carbonate may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please

may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

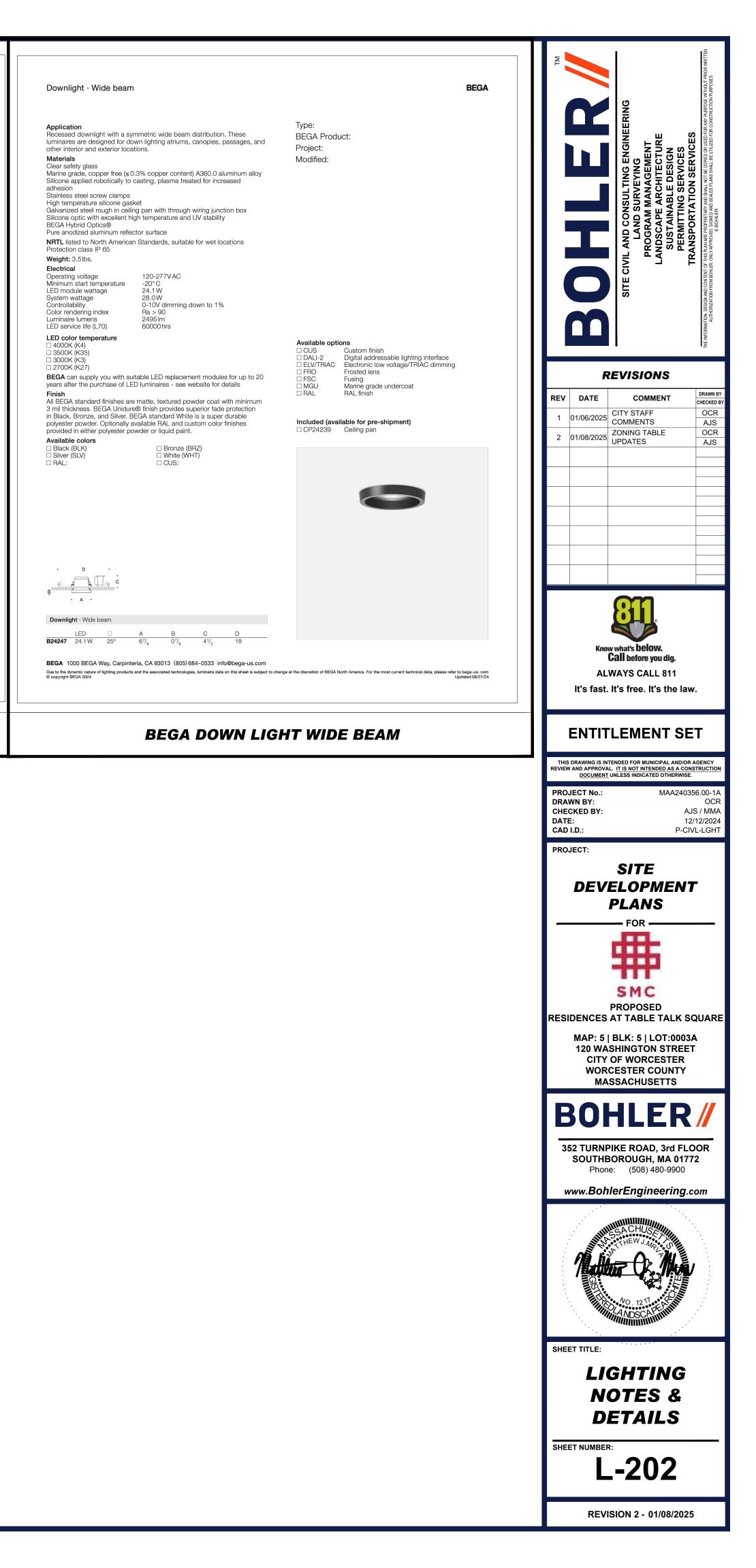
: **www.rablighting.com** ject to change at any time without notice

CYLINDER LUMINAIRE

<section-header><section-header>

Wall luminaire · Narrow beam upward or downward BEGA Type: Application Wall luminaires with directed narrow beam light distribution on one side that BEGA Product: can be oriented upward or downward. Arranged individually or in groups, Project: they are great design elements for a host of lighting applications. Modified: Materials Clear safety glass Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy Mechanically captive stainless steel fasteners High temperature silicone gasket Pure anodized aluminum reflector NRTL listed to North American Standards, suitable for wet locations Protection class IP 65 Weight: 4.4 lbs. Electrical Operating voltage Minimum start temperature 120-277VAC -30°C 12.1W 14.0W LED module wattage System wattage 0-10V, TRIAC, and ELV dimmable Controllability Color rendering index Ra > 80 1113 lm Luminaire lumens LED service life (L70) 60000 hrs LED color temperature 2 4000K (K4) 🗆 3500K (K35) 3000K (K3) Available options 2700K (K27) Custom finish Fusing Marine grade undercoat □ CUS □ FSC BEGA can supply you with suitable LED replacement modules for up to 20 □ MGU □ RAL years after the purchase of LED luminaires - see website for details RAL finish All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable Available accessories polyester powder. Optionally available RAL and custom color finishes \Box B79547 Surface mounted wiring box provided in either polyester powder or liquid paint. Available colors See individual accessory spec sheet for details. 🗆 Black (BLK) 🗆 Bronze (BRZ) 🗆 White (WHT) □ Silver (SLV) Included (available for pre-shipment) □ CUS: ` RAL: □ B19537 Narrow opening wiring box В <u>о</u>⊐ •́ · c · Wall luminaire · Narrow beam upward or downward **B24034** 12.1 W 18° BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2024 Updated 10/25/24

BEGA WALL LUMINAIRE NARROW BEAM DOWNWARD



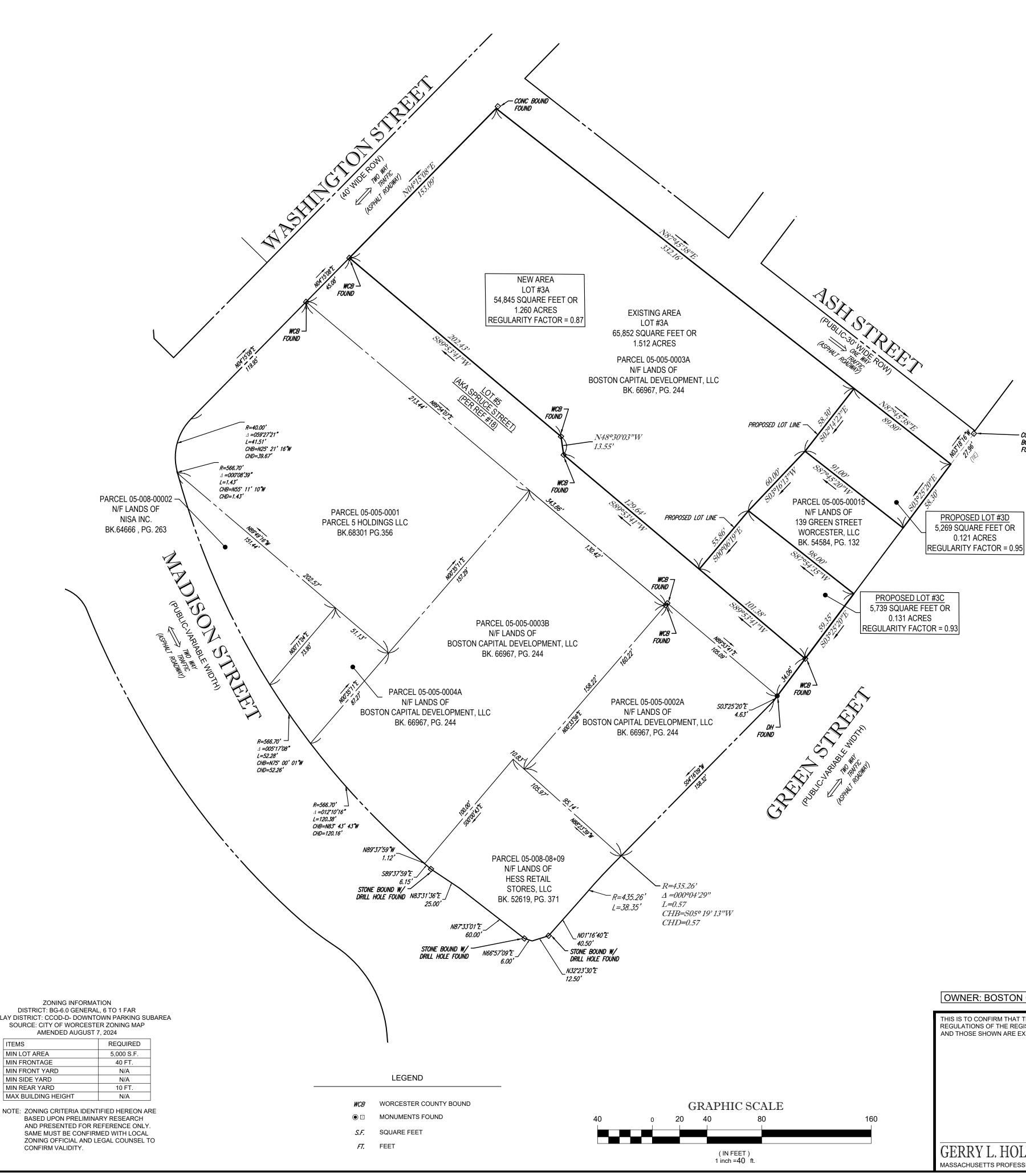
FOR REGISTRY USE ONLY

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED CITY OF WORCESTER PLANNING BOARD

CHAIRMAN

DATE

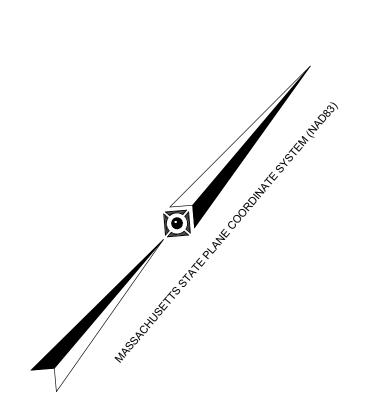
THE PLANNING BOARD'S ENDORSEMENT OF THE PLAN AS NOT REQUIRING APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT A DETERMINATION AS TO THE CONFORMANCE WITH THE CITY OF WORCESTER ZONING BYLAW AND REGULATIONS.

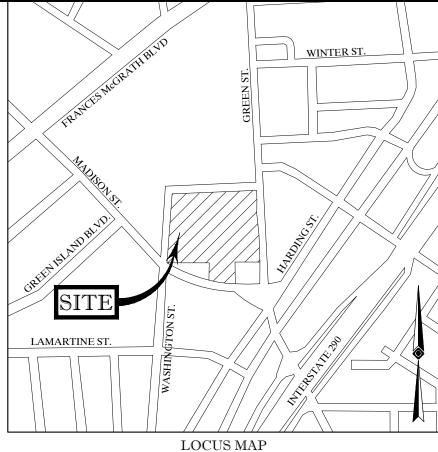


ZONING INFORMATION DISTRICT: BG-6.0 GENERAL, 6 TO 1 FAR OVERLAY DISTRICT: CCOD-D- DOWNTOWN PARKING SUBAREA SOURCE: CITY OF WORCESTER ZONING MAP

	.,
ITEMS	REQUIRED
MIN LOT AREA	5,000 S.F.
MIN FRONTAGE	40 FT.
MIN FRONT YARD	N/A
MIN SIDE YARD	N/A
MIN REAR YARD	10 FT.
MAX BUILDING HEIGHT	N/A

BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.





©2013 ESRI WORLD STREET MAPS

NOTES:

- 1. PROPERTY KNOWN AS PARCEL 05-005-0003A AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
- 2. AREA: EXISTING PARCEL 05-005-0003A = 65,852 SQUARE FEET OR 1.512 ACRES NEW AREA LOT 3A = 54,845 SQUARE FEET OR 1.260 ACRES PROPOSED LOT 3C = 5,738 SQUARE FEET OR 0.131 ACRES PROPOSED LOT 3D = 5,269 SQUARE FEET OR 0.121 ACRES
- 3. THE PURPOSE OF THIS PLAN IS CREATE THE LOTS 3C & 3D FROM EXISTING LOT 3A PARCEL 05-005-0003A AS SHOWN
- 4. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

REFERENCES:

BOUND

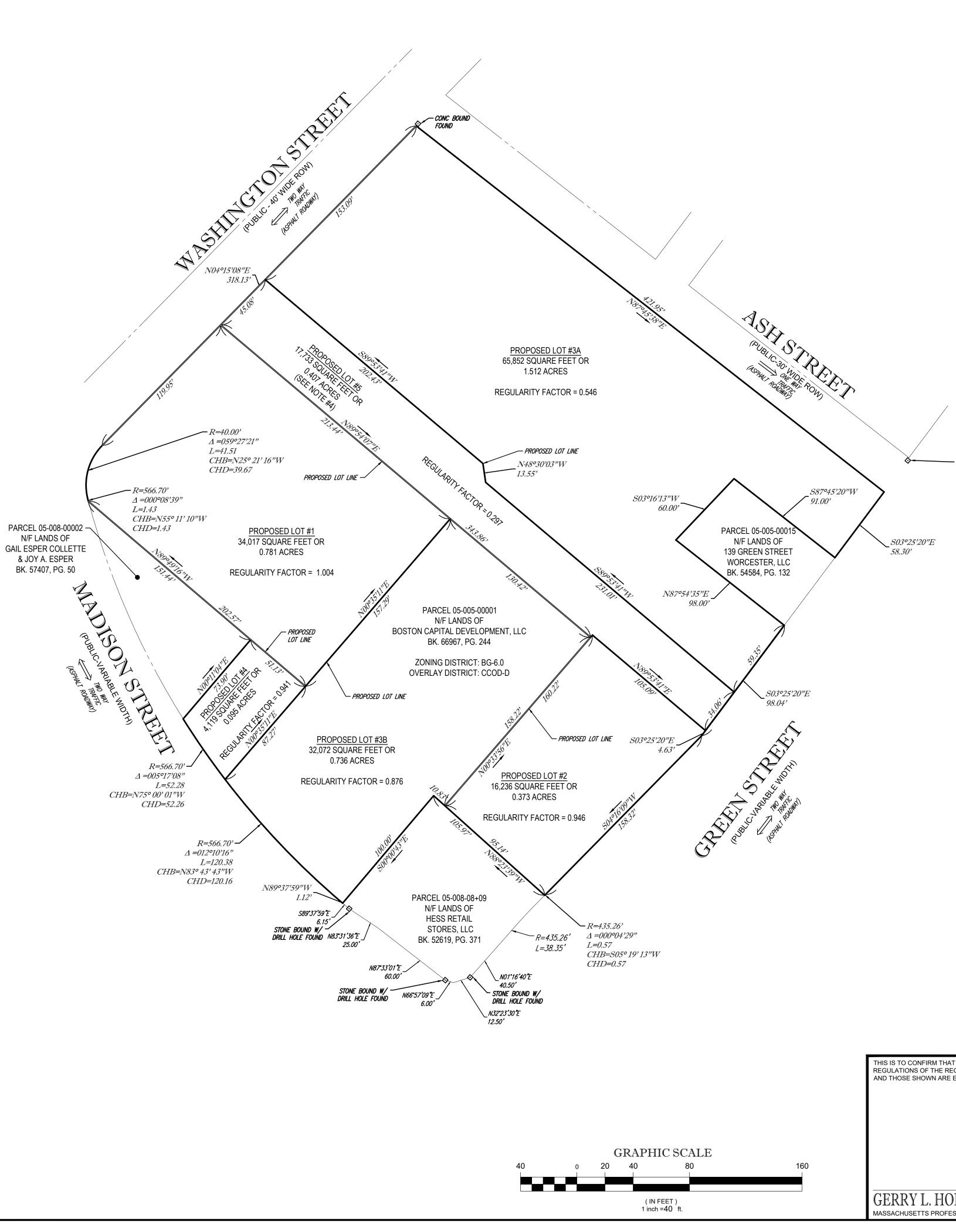
FOUND

HEREON.

- 1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY,
- MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075," COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011. MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON
- STREET, GOLD STREET & ASSONET STREET, PARCELS 05-010-00001, 05-009-00019, 05-009-00014, 05-009-00009, 05-007-00004, 05-007-00003, 05-006-00013, 05-004-00027, 05-004-03+04, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019. 8 SHEETS.
- MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
- MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETT WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILLBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMONT LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY VHB, DATED JUNE 5, 2019. PROJECT NO. 609226, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 943, PLAN
- MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, 6 GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
- 7. WASHINGTON STREEET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 8. MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 9. GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 10. ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 11. UTILITIES MAP PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS.
- 12. MAP ENTITLED "EXISTING CONDITIONS PLAN, WYMAN-GORDON COMPANY, PORTIONS OF WASHINGTON STREET, ASH STREET, SUMMIT STREET, GOLD STREET, PLYMOUTH STREET & GREEN STREET, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED OCTOBER 24, 2019. LAST REVISED DECEMBER 8, 2020. TWO SHEETS.
- 13. SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842
- 14. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF L AND, BOSTON CAPITAL DEVELOPMENT, LLC, 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91.
- 15. MAP ENTITLED "CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.
- 16. MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY & THORNDIKE, DATED JANUARY 1983, SHEET 8 OF 47, FILED WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 17. MAP ENTITLED "CONDOMINIUM SITE PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 120 WASHINGTON STREET, A PORTION OF PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 12, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 966, PLAN 96.
- 18. MAP ENTITLED "TAKING AND LAYOUT PLAN, SPRUCE STREET, STATION 0+0 TO STATION 4+46.28, PARCEL 05-005-0005A, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED AUGUST 10, 2024- LAST REVISED OCTOBER 21, 2024. TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

N CAPITAL DEVELOPMENT, LLC.	1	ADD NEW LO	OT AREA FOR LOT 3A		N/A	G.R.D.	G.L.H.	12-12-2024
	No.	DESCRIPT	ION OF REVISION		FIELD CREW	DRAWN:	APPROVED:	DATE
T THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND EGISTERS OF DEEDS. NO NEW RIGHT OF WAY LINES ARE BEING CREATED EXISTING AND ARE NOT BEING CHANGED OR ALTERED.	FIELD DATE N/A FIELD BOOK NO. N/A FIELD BOOK PG. N/A	BOST 120 WASHI PARCEL 05 CITY OF W	VAL NOT DN CAPI INGTON STR 5-005-0003A /ORCESTER, WEALTH OF N	TAL D EET WORCEST	EVEL	LOPN		
NO. 49211 REGISTERED OVAL LAND SUFFC 12-12-2024	FIELD CREW N/A DRAWN: G.R.D.	C A 352 SO	CONTR SSOCI TURNPIKE RO UTHBOROUGH 3,948.3000 - 508	A T E S, A D E S, AD I, MA 01772	OIN7 Inc	· CH MANI MT	ALBANY, NY ALFONT, PA HATTAN, NY LAUREL, NJ WARREN, NJ	2157129800 6467800411 6098572099
DLDRIGHT, PLS DATE	REVIEWED: G.L.H.	APPROVED: G.L.H.	date 12-11-2024	scale 1" = 40'	FILE NO. 03-20	0266-01	dwg. no. I 1 0	

FOR REGISTRY USE ONLY

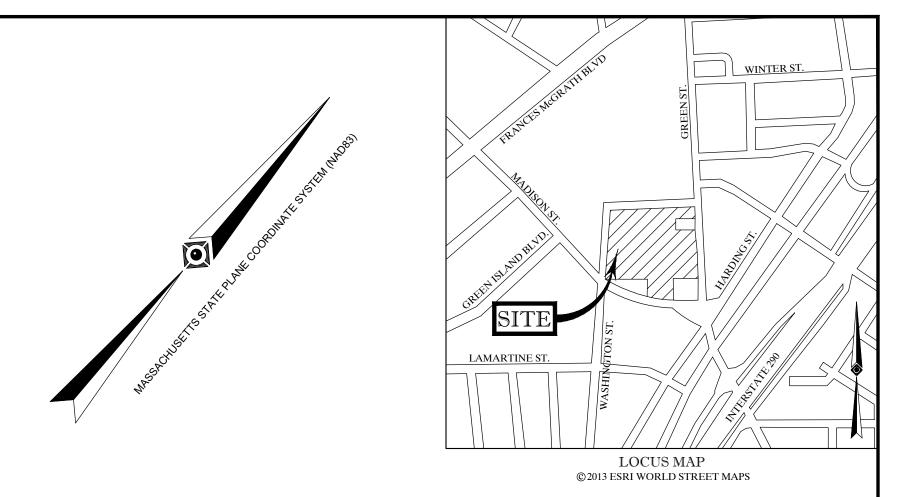


APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED CITY OF WORCESTER PLANNING BOARD

CHAIRMAN

DATE

THE PLANNING BOARD'S ENDORSEMENT OF THE PLAN AS NOT REQUIRING APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT A DETERMINATION AS TO THE CONFORMANCE WITH THE CITY OF WORCESTER ZONING BYLAW AND REGULATIONS.



NOTES:

- CONC BOUND FOUND

1. PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.

2.	AREA:	EXISTING PARCEL 05-005-00001 = 170,029 SQUARE FEET OR 3.904 ACRES
		PROPOSED PARCEL 1 = 34,017 SQUARE FEET OR 0.781 ACRES PROPOSED PARCEL 2 = 16,236 SQUARE FEET OR 0.373 ACRES PROPOSED PARCEL 3A = 65,852 SQUARE FEET OR 1.512 ACRES PROPOSED PARCEL 3B = 32,072 SQUARE FEET OR 0.736 ACRES
		PROPOSED PARCEL 4 = 4,119 SQUARE FEET OR 0.095 ACRES PROPOSED PARCEL 5 = 17,733 SQUARE FEET OR 0.407 ACRES
		TOTAL = 170,029 SQUARE FEET OR 3.904 ACRES

- 3. THE PURPOSE OF THIS PLAN IS CREATE THE LOTS SHOWN HEREON FROM EXISTING PARCEL 05-005-00001.
- 4. PROPOSED PARCEL #5 IS A NON-BUILDABLE LOT, AND RESERVED FOR FUTURE ROADWAY PURPOSES.
- 5. SUBJECT PROPERTY IS LOCATED WHOLLY WITHIN THE COMMERCIAL CORRIDOR OVERLAY DISTRICT (CCOD-D).

REFERENCES:

- 1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
- 2. MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.
- 3. MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETTS WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILLBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMONT, LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY VHB, DATED JUNE 5, 2019. PROJECT NO. 609226, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 943, PLAN 56.
- 4. MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
- 5. WASHINGTON STREEET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 6. MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 7. GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 8. ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 9. MAP ENTITLED "BOUNDARY & LOCATION SURVEY, TABLE TALK PIES, INC., 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 22, 2020.

APPLICANT BOSTON CAPITAL DEVELOPMENT, LLC 11 BEACON STREET, SUITE 325 BOSTON, MA 02108

AT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGISTERS OF DEEDS. NO NEW RIGHT OF WAY LINES ARE BEING CREATED E EXISTING AND ARE NOT BEING CHANGED OR ALTERED.	FIELD DATE 09-14-2020				ED PLAN O EVELOPM	F LAND IENT, LLC
	FIELD BOOK NO.	153 GREEN PARCEL 05	N STREET 5-005-00001			
	FIELD BOOK PG.	CITY OF W	ORCESTER,	WORCESTE	R COUNTY	
	64	COMMON	VEALTH OF N	MASSACHUS	ETTS	
4-4-2022	FIELD CREW J.D.O. DRAWN: R.J.K.	A 352 SO	CONTR SSOCI UTHBOROUGH 3.948.3000 - 508	A T E S, DAD H, MA 01772	INC. A CHA MANH MT	LBANY, NY 5182175010 Alfont, PA 2157129800 IATTAN, NY 6467800411 LAUREL, NJ 6098572099 VARREN, NJ 9086680099
DLDRIGHT, PLS DATE	REVIEWED: G.L.H.	APPROVED: G.L.H.	date 4-4-2022	scale 1" = 40'	FILE NO. 03-200266	dwg. no. 1 OF 1

- PROPERTY KNOWN AS A PORTION OF PARCEL 05-005-0003A AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
- 2. LOT 3A AREA = 65,852 SQUARE FEET OR 1.512 ACRES
- PROPOSED LOT 3C AREA = 5,738 SQUARE FEET± OR 0.131 ACRES± PROPOSED LOT 3D AREA = 5,269 SQUARE FEET± OR 0.121 ACRES±
- LOCATION OF UNDERGROUND UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD. AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
- QUALITY LEVEL D UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED. QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
- THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR), INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON. CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS IMPORTANT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO CONVEYANCE AND THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY, BOUNDARY AND EASEMENT LINES ARE BASED UPON AVAILABLE DOCUMENTATION AT THE TIME OF SURVEY AND ARE SUBJECT TO SAID TITLE REPORT.
- THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES. THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- 9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- 10. ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.
- THIS SURVEY WAS PREPARED FOR THE CLIENT, BOSTON CAPITAL DEVELOPMENT PARTNERS, LLC. AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.

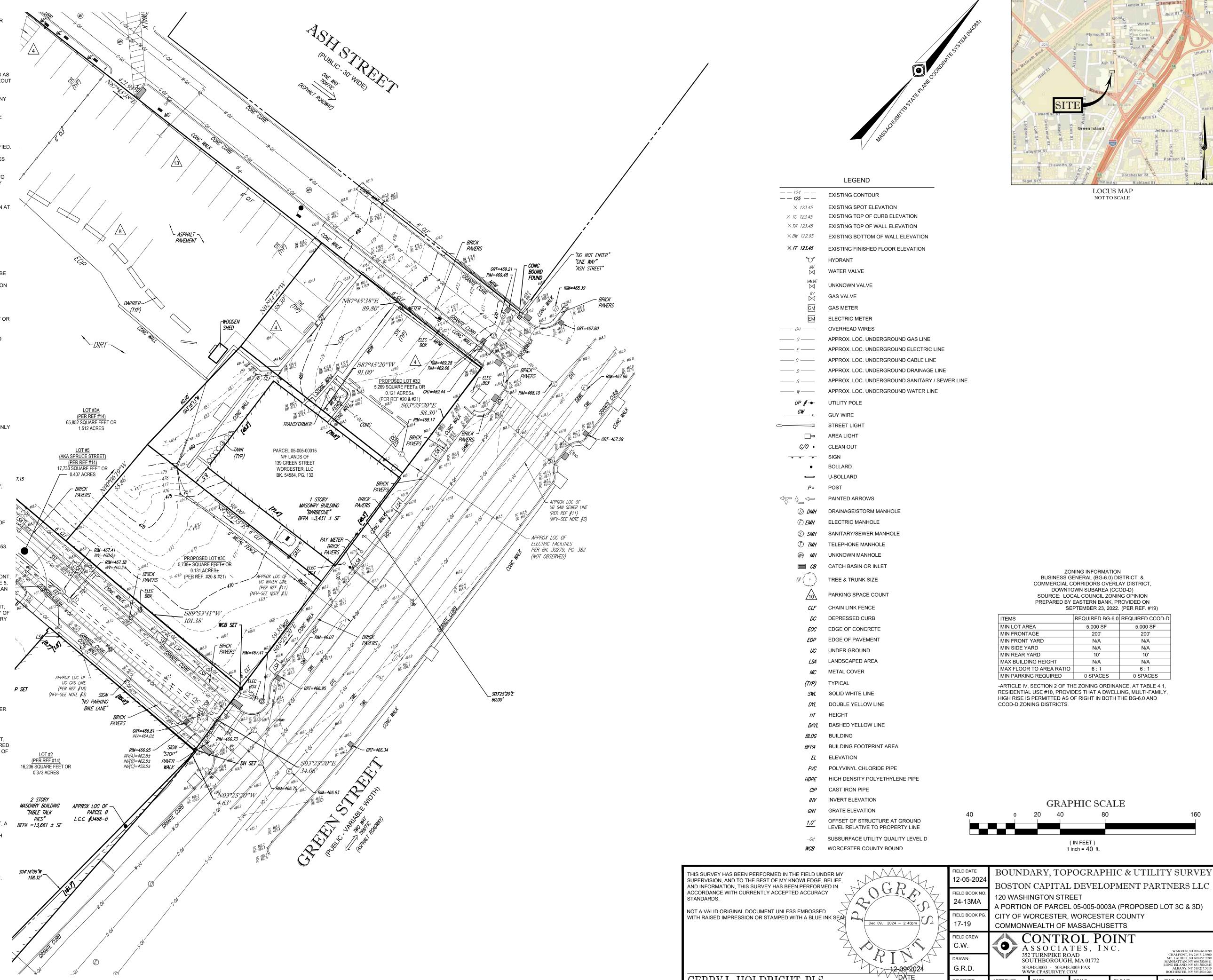
REFERENCES:

RIGHTS.

- 1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
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- MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON STREET. GOLD STREET & ASSONET STREET. PARCELS 05-010-00001. 05-009-00019. 05-009-00014. 05-009-00009. 05-007-00004, 05-007-00003, 05-006-00013, 05-004-00027, 05-004-03+04, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 26, 2019. 8 SHEETS.
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- 13. SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842
- 14. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF L AND, BOSTON CAPITAL DEVELOPMENT, LLC, 153 GREEN STREET, PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91.
- 15. MAP ENTITLED "CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.
- 16. MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY & THORNDIKE, DATED JANUARY 1983, SHEET 8 OF 47, FILED WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
- 17. MAP ENTITLED "CONDOMINIUM SITE PLAN OF LAND, BOSTON CAPITAL DEVELOPMENT, LLC, 120 WASHINGTON STREET, A PORTION OF PARCEL 05-005-00001, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 12, 2022. RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 966, PLAN 96.
- 18. CIVIL CAD FILE PROVIDED BY BOHLER ENGINEERING.
- 19. ZONING REPORT PROVIDED BY SEDERLAW ATTORNEYS, DATED SEPTEMBER 28, 2022.
- 20. MAP ENTITLED "PROPOSED LOT LINE EXHIBIT FOR TREMONT DEVELOPMENT PARTNERS LLC," PROVIDED BY BOHLER, DATED NOVEMBER 12, 2024.
- 21. CAD FILE PROVIDED BY BOHLER ENTITLED "P-GNRE-PROP-MAA240356.00-0A," RECEIVED DECEMBER 9, 2024.



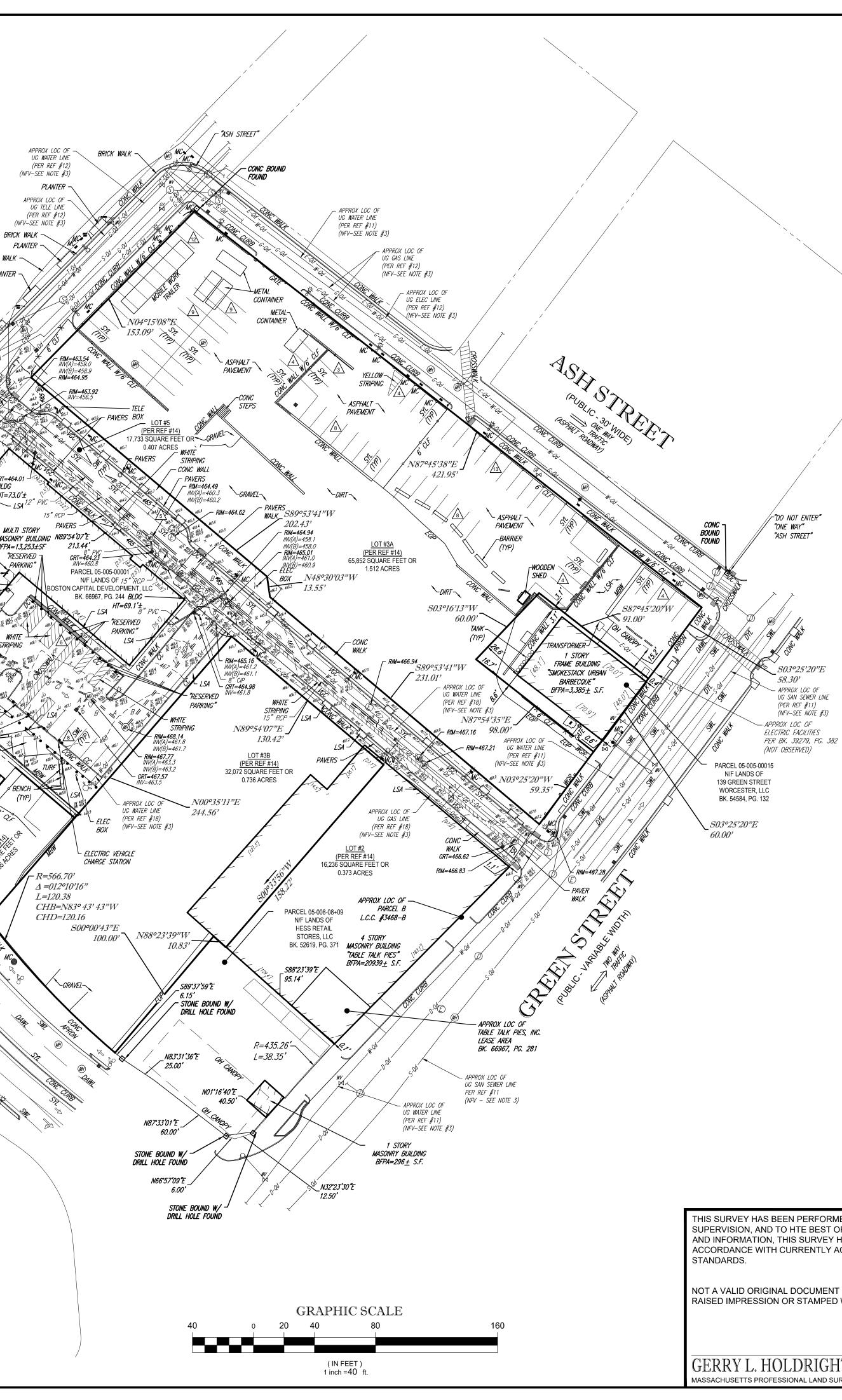
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

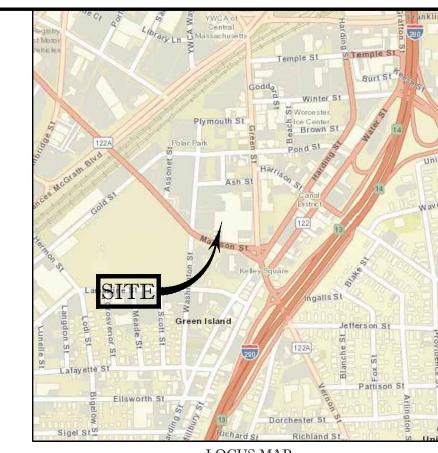


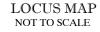
GERRY L. HOLDRIGHT, PLS **REVIEWED:** PPROVED: DATE SCALE FILE NO. DWG, NO. R.J.K. 12-09-2024 03-200266-0 OF G.L.H. 1" = 40' ASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

	LEG	GEND						
	<u> </u>	EXISTING CONTOUR						
	× 12 ^{3.45}	EXISTING SPOT ELEVATION						
	× _{TC} 12 ^{3.45}	EXIST. TOP OF CURB ELEVATION						
	× _{BC} 122.95	EXIST. BOTTOM OF CURB ELEVAT	ION					
	× _{TW} 12 ^{3.45}	EXIST. TOP OF WALL ELEVATION						
	× _{BW} 122.95	EXIST. BOTTOM OF WALL ELEVAT						
	× FF 12 ^{3.45}	EXIST. FINISHED FLOOR ELEVATION	N					
	V ×	HYDRANT FIRE DEPARTMENT CONNECTION						
	≈ ≈	IRRIGATION VALVE	(F.D.C.)					
		CATCH BASINS					•	
		CLEAN OUT						
		DETECTABLE WARNING PAD					A A A	BRI
		METAL COVERS					A Pr	CONC WAL
	 -	SIGN				APPROX LOC OF UG ELEC LINE R UTILITY MARKOUT) (SEE NOTE #3)		PLANTE
	● ·	BOLLARD GROUND FLOOD LIGHT				\sim	REFT	
		LAMP				A CAR	, int	PLANTER -
	T# (·)	DECIDUOUS TREE & TRUNK SIZE				C MIDE M	O WALL	
	P# 💥	CONIFEROUS TREE & TRUNK SIZI	E				ROADWA'' PA	AVER - MC WALK
	10	PARKING SPACE COUNT				PUBLI ASPHALI	N04°15'08'E 45.08'	64 - G-Qd
	AG	ABOVE GROUND				APPROX LOC OF	RIM=463.24	
	BB CURB	BELGIUM BLOCK CURB			(PEI	UG ELEC LINE R UTILITY MARKOUT)	RIM=461.33	
	BFPA					(SEE NOTE #3) TRANSFORM	$\wedge \mathbb{N} \wedge \mathbb{N}$	SIGN - STATE
	BLDG CLF	BUILDING CHAIN LINK FENCE				ON CONC F GRT=459.21 —		
	DC	DEPRESSED CURB			APPROXIMATE LIMIT DRAINAGE CON	OF	CON CONTRACTOR	404 J MC 461.3 464 J
	EOC	EDGE OF CONC.			PER REF	#13		461-5 D LSA
	EOG	EDGE OF GRAVEL			RIM=456.70 APPROX LOC OF —			GRT=40
	EOP	EDGE OF PAVEMENT			UG WATER LINE (PER REF #11)	00 W 00 C		BLDG
	FDC	FIRE DEPARTMENT CONNECTION			(NFV-SEE NOTE #3)		WALK WALK	K CONC WALL
	НСР	HANDICAP			PAVERS		456.4 CU 455.7 456.5 RAS 455.7 K LSA 456.5	FF 456.91 MBW MUL
	HT					10 ⁰ 4518	NC 455.2 456.5 C/0 SA CON	- OH CANOPY BFPA:
	LSA MBW	LANDSCAPED AREA				5 455.7 455.7 456.5 456.	SA STEL	PS DOOR
	МС	METAL COVER			Still B	4531 453.5 Str. 456.5 456.5		FF 468.85
	SWL	SOLID WHITE LINE			Till BC 45	34 229 229 MC GRASS 1456.7 456.8	<u>LOT #1</u> (PER REF #1	
	SYZ	SOLID YELLOW LINE		APPROX LOC OF UG SEWER LINE (PER REF #18)	COLUMN -	453.0 453.1	34,017 SQUARE F 0.781 ACRE	
	TYP	TYPICAL		(NFV-SEE NOTE #3)	GRT=451.96	452.5 MC 452.5 EC	- OH CANOPY	
	CC VGC	CONCRETE CURB			1(8	4520 4520 4520 4520 T	KV Co	A A ANT
	FOC					452.3 452.7 452.4 452.4	GRASS 5 46.9 SPASS 5 46.9 46.9 46.9 46.9	LSA The second
						10 452.3 \\ 452.3 \\ 10		
						CONC		
						_ 05-008-00002	CONC. WAL	769. 1
					GAIL ESI	LANDS OF PER COLLETTE Y A. ESPER		ERVED
						7407, PG. 50 1 STOR	Y PAR	RKING" CANOPK
						FRAME BUILDIN THE CHECK DEPOT BFPA=786 <u>+</u> S.I	-"	
						ארא <i>ביוט<u>ר</u> 5.ו</i> א	\sim	
REF	ERENCES:							V si qu
1.	THE G.I.S. DATABASE (OF THE CITY OF WORCESTER, WOF	CESTER COUNTY, COMMO	ONWEALTH OF MASSACH	JSETTS.	· ·		1
2.		IAL FLOOD INSURANCE PROGRAM,		,				
	DATE: JULY 4, 2011.	. JURISDICTIONS), PANEL 618 OF 10	75," COMMUNITY-PANEL N	NUMBER 25027C0618E, EFI	-ECTIVE	THE YOA		L BELLAR
3.		SPS LAND TITLE SURVEY, WYMAN- NET STREET, PARCELS 05-010-0000	,	,	· · · · · · · · · · · · · · · · · · ·	ю (`/_`		1 p 4,1/3 0,3
	05-007-00003, 05-006-00	COMMONWEALTH OF MASSACHUS	003-00017, 05-003-00016, &	& 05-003-00012, CITY OF W	ORCESTER,	ARIP		
	DATED APRIL 26, 2019.				o, ino.,	(ASPHIN		
4.		F LAND IN WORCESTER," PREPARI MASSACHUSETTS LAND REGISTRA			MBER, 1953.	(ASPHALT ROADMAN)		
5.		F EASEMENTS OWNED BY THE CIT				MAX O		
	WASHINGTON, GREEN,	SHOWING LOCATION OF EASEMEN HARDING, HARRISON, LAMARTINE	MILLBURY, ENDICOTT, SIG	IGEL, ELLSWORTH, ARWIC	H,			
	DATED JUNE 5, 2019. P	, VERNON, AND OLD MILLBURY STF ROJECT NO. 609226, RECORDED W						E C C C C C C C C C C C C C C C C C C C
6.	BOOK 943, PLAN 56.	/EMENTS TO COMBINE SEWERAGE					Se M	
0.	GRABOWSKI SQ. TO GR	EEN AND TEMPLE STREET, ALONG	WASHINGTON STREET AN	ND RAILROAD," PREPAREI	D BY CITY			
		S PLAN BOOK 478, PLAN 3.	MAT, 1970. RECORDED V		•		`` of the	
7.	WASHINGTON STREEE	T LAYOUT PROVIDED BY CITY OF W	ORCESTER DEPARTMENT	T OF PUBLIC WORKS.				
8.	MADISON STREET LAYO	OUT PROVIDED BY CITY OF WORCE	STER DEPARTMENT OF PL	UBLIC WORKS.			CP_	
9.		T PROVIDED BY CITY OF WORCES						
10.								N X
		ED BY THE CITY OF WORCESTER D						
12.	STREET, SUMMIT STRE	NG CONDITIONS PLAN, WYMAN-GO ET, GOLD STREET, PLYMOUTH STF ALTH OF MASSACHUSETTS." PREPA	EET & GREEN STREET, CI	ITY OF WORCESTER, WOR	CESTER			
	,	D DECEMBER 8, 2020. TWO SHEETS			OCTOBER			
13.	SPRUCE STREET LAYO	UT PROVIDED BY CITY OF WORCES	STER DEPARTMENT OF PU	JBLIC WORKS, PLAN H-32 6	6842			
14.		VAL NOT REQUIRED PLAN OF L AN CITY OF WORCESTER, WORCESTER	,					
	PREPARED BY CONTRO	DL POINT ASSOCIATES, INC., DATEE S PLAN BOOK 963, PLAN 91.						
15.		WORCESTER MASSACHUSETTS,		,				
		SYSTEM, LAND AND EASEMENTS A CORDED WITH THE WORCESTER CO						
16.		F WORCESTER DEPARTMENT OF P / 5 MILL BROOK DRAIN CONDUIT (S	,					
	PROFILE - PART III," PRI	/ 5 MILL BROOK DRAIN CONDUIT (S EPARED BY FAY & THORNDIKE, DA ⁻ IENT OF PUBLIC WORKS.	,					
17.		MINIUM SITE PLAN OF LAND, BOST	ON CAPITAL DEVELOPMF	NT, LLC, 120 WASHINGTON	N STREET, A			
	PORTION OF PARCEL 0 MASSACHUSETTS," PRE	5-005-00001, CITY OF WORCESTER, EPARED BY CONTROL POINT ASSO	WORCESTER COUNTY, CO CIATES, INC., DATED SEPT	OMMONWEALTH OF				
10			F DEEDS.					
18.	GIVIL CAD FILE PROVID	ED BY BOHLER ENGINEERING.						

L POINT ASSOCIATES, INC.- ALL RIGHTS RESERVED. OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL E ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCI







NOTES:

1. PROPERTY KNOWN AS PARCEL 05-005-00015 & A PORTION OF PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.

2. AREA: LOT 3A = 65,852 SQUARE FEET OR 1.512 ACRES LOT 3B = 32,072 SQUARE FEET OR 0.736 ACRES PARCEL 05-005-00015 = 5,657 SQUARE FEET OR 0.130 ACRES TOTAL = 103,581 SQUARE FEET OR 2.378 ACRES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED. QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B- UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO
SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY
CONTROL POINT ASSOCIATES, INC.QUALITY LEVEL A-HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM
- EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5 BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO
- 6. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT
- ADDITION, ETC. 7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- 8. LOTS 1, 2, 3A, 3B, 4 & 5 SHOWN HEREON HAVE BEEN RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 963, PLAN 91, BUT HAVE YET TO RECEIVE NEW PARCEL DESIGNATIONS. SHOWN HEREON AS LOTS 1, 2, 3A, 3B, 4 & 5 PER REFERENCE #14.
- 9. SURVEYOR'S DESCRIPTION PREPARED PER CLIENT REQUEST.
- 10. IMPROVEMENT FOR LOT 1 ONLY SHOWN HEREON.

EEN PERFORMED IN THE FIELD UNDER MY		FIELD DATE 5-10-2024	AS-BUI	LT SURVI	EY			
TO HTE BEST OF MY KNOWLEDGE, BELIEF, THIS SURVEY HAS BEEN PERFORMED IN			QUART	ERRA MU	LTIFAMI	LY COMMU	NITIES, I	LLC
CURRENTLY ACCEPTED ACCURACY		FIELD BOOK NO. 24-06		GREEN STRE				
		FIELD BOOK PG.		05-005-00015 /ORCESTER,				
AL DOCUMENT UNLESS EMBOSSED WITH		27-28		VEALTH OF N				
I OR STAMPED WITH A BLUE INK SEAL.		FIELD CREW B.S.B.		CONTR		INC A	LBANY, NY 5182	
	5-22-2024	drawn: J.P.M.	352 SO	2 TURNPIKE RO UTHBOROUGH 3.948.3000 - 508	AD I, MA 01772	MANH MT I	ALFONT, PA 215' IATTAN, NY 646' LAUREL, NJ 6098 /ARREN, NJ 9086	7800411 8572099
DLDRIGHT, PLS	DATE	REVIEWED: R.J.K.	APPROVED: G.L.H.	DATE 5-22-2024	scale 1" = 40'	FILE NO. 03-200266-01	dwg. no. 1 OF	1

NOTES:

PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.

AREA = 170,029 SQUARE FEET OR 3.903 ACRES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY, AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

APPROX LOC OF

PER REF #11

21M=464.1

DS 464.13

- RIDG

HT=36.6'±

ROX

- UTILITY BOX

N00°11'04"E

73 9N

ON CONC PAD

(CONC)

· GRT=459.33

TOW=456.1± \

× 460.45

ASPHALT

PAVEMENT

¬ GRT=459.77

ASPHALT

PAVEMENT

OP OF HOOD=456.3±

UG STORM SEWER LINE

(NFV - SEE NOTE 3,

RIM=467.6

RIM=465.83

GRT=465.40

RIM=464.38 -

INV(A)=454.8 INV(B)=450.1

ASPHAL.

PAVEMENT

' 16"W

↓ RIM=456.84

CHB=N55° 11' 10"W, <

"=40.00", ^{INV=452.6}

=41

RIM=453.94

L CONC-

MC

BARRIER

PAVEMEN

A BOX

,^{,,,,} CONC –

WALL

1 STORY

FRAME BUILDING

ASPHALT

PAVEMENT

BRICK PAVER -(TYP)

IV(A)=449 /(R)=444. CHB+N25°,2

CHD=39:67;

R**≠566.70'** ₄₅9

LA =000°08*392

+CHD=143

L=1.43

RIM=459.06

INV(A)=449.8

INV(B)=449.3

GRT=457.59

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS,
- COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO
- BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2 ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) ..
- 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- 10. THIS SURVEY WAS PERFORMED DURING A PERIOD WHEN THE GROUND WAS SNOW COVERED. UTILITY STRUCTURES AND SITE FEATURES HAVE BEEN LOCATED AND IDENTIFIED WHICH WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK. REMOVAL OF THIS NOTE FROM THE SURVEY WILL REQUIRE A LATER SITE VISIT AFTER THE SNOW HAS PLANTER -MELTED.

APPROX LOC \C

(NFV – SEE NOTE 🕄

STRIPINO

UG WATER LINE

PER REF #1

RIM=453.35

BRICK

PAVERS

APPROX LOC OF -STORM SEWER LINE

PER REF #11

GRT=452.20

CONC -

ID SIGN

DEPOT"

BARRIER

"THE CHECK

(NFV – SEE NOTE 3)

INV(A)=443.9

BOX

.*N89º49'16"*1

151.44

BRICK PAVER

(TYP)

	LEGEND
- 124 - 125	EXISTING CONTOUR
× 12 ^{3.45}	EXISTING SPOT ELEVATION
× TC 123.45	EXIST. TOP OF CURB ELEVATION
× BC 122.95	EXIST. BOTTOM OF CURB ELEVATION
× TW 123.45	EXIST. TOP OF WALL ELEVATION
× BW 122.95	EXIST. BOTTOM OF WALL ELEVATION
	DEPRESSED CURB
V	HYDRANT
	WATER VALVE
VALVE X	
GV X	GAS VALVE
Ŵ	
S	SANITARY/SEWER MANHOLE
\bigcirc	
Ē	
ک ا	
0′ ⁻	CLEAN OUT STREET LIGHT
2	TRAFFIC SIGNAL POLE
j¥Q S [°] O	PAINTED BIKE LANE
Ę	
	PAINTED ARROWS
	METAL COVERS
	SIGN
	DOUBLE SIGN BOLLARD
-	U-BOLLARD
	SECURITY CAMERA
	METAL GUIDE RAIL
AC	AIR CONDITIONING UNIT
Ö Ð BIKE	BIKE POST
¢≕ *	LAMP
10	PARKING SPACE COUNT
AG	ABOVE GROUND
UG	UNDER GROUND
CLF	CHAIN LINK FENCE
DC	DEPRESSED CURB
EOC	EDGE OF CONC.
	EDGE OF PAVEMENT
	LANDSCAPED AREA TYPICAL
	SOLID WHITE LINE
SYL SPI	
SBL	
DYL DAWL	DOUBLE YELLOW LINE DASHED WHITE LINE
BLDG	BUILDING
BFPA	BUILDING FOOTPRINT AREA
NVP	NO VISIBLE PIPE
TOD	TOP OF DEBRIS
TOS	TOP OF STRUCTURE
- OH	OVERHEAD WIRES
- E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
- G	APPROX. LOC. UNDERGROUND NATURAL GAS I
- 5	APPROX. LOC. UNDERGROUND SANITARY LINE
- <i>D</i>	APPROX. LOC. UNDERGROUND DRAINAGE LINE
	APPROX. LOC. UNDERGROUND WATER LINE
- //	AFFINDA, LOG. UNDERGING WATER THE

HE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION

DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO

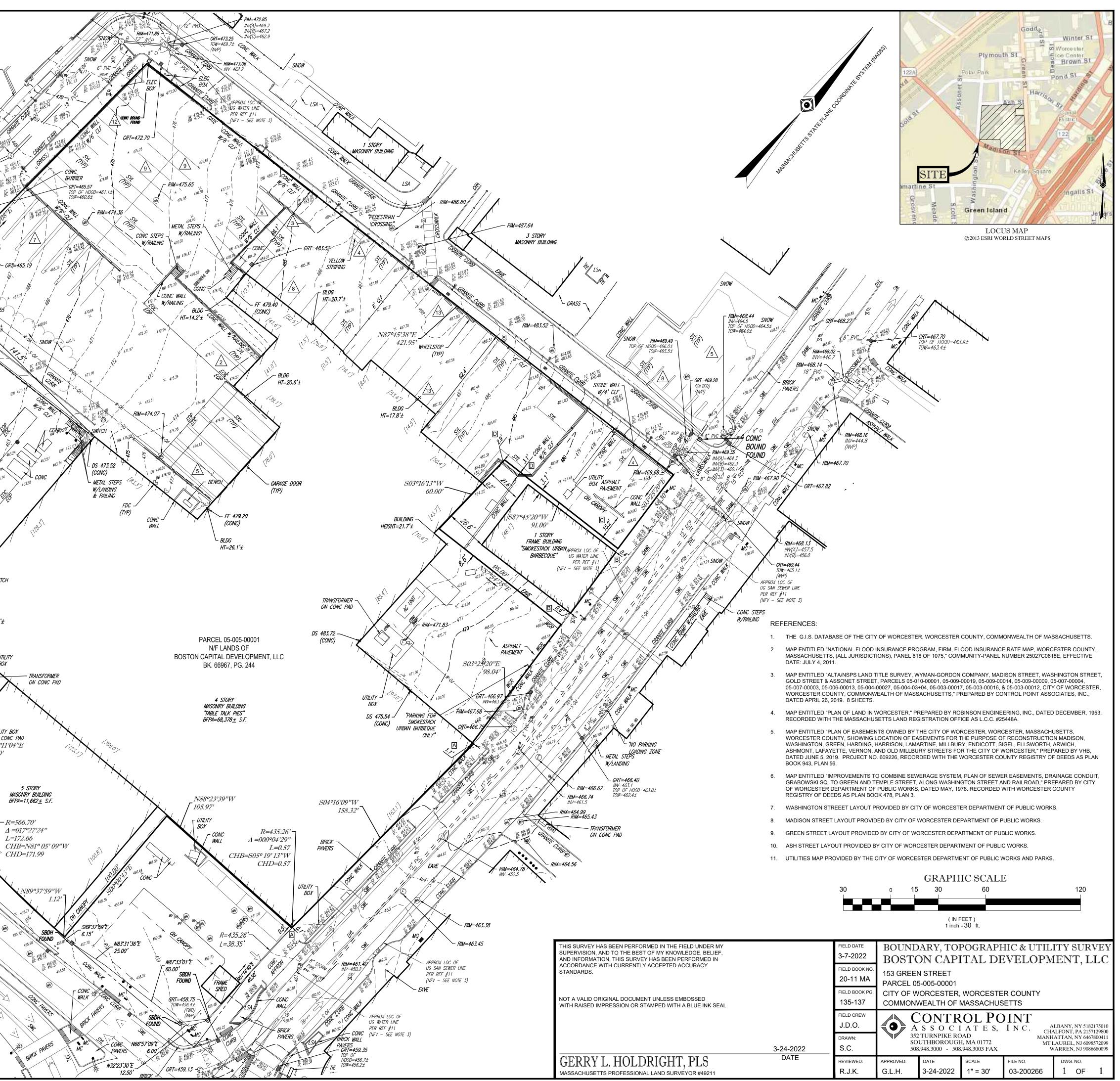
TABLE OF APPARENT ENCROACHMENTS A 4 STORY MASONRY BUILDING INTO GREEN STREET 0.1 - 1.1'

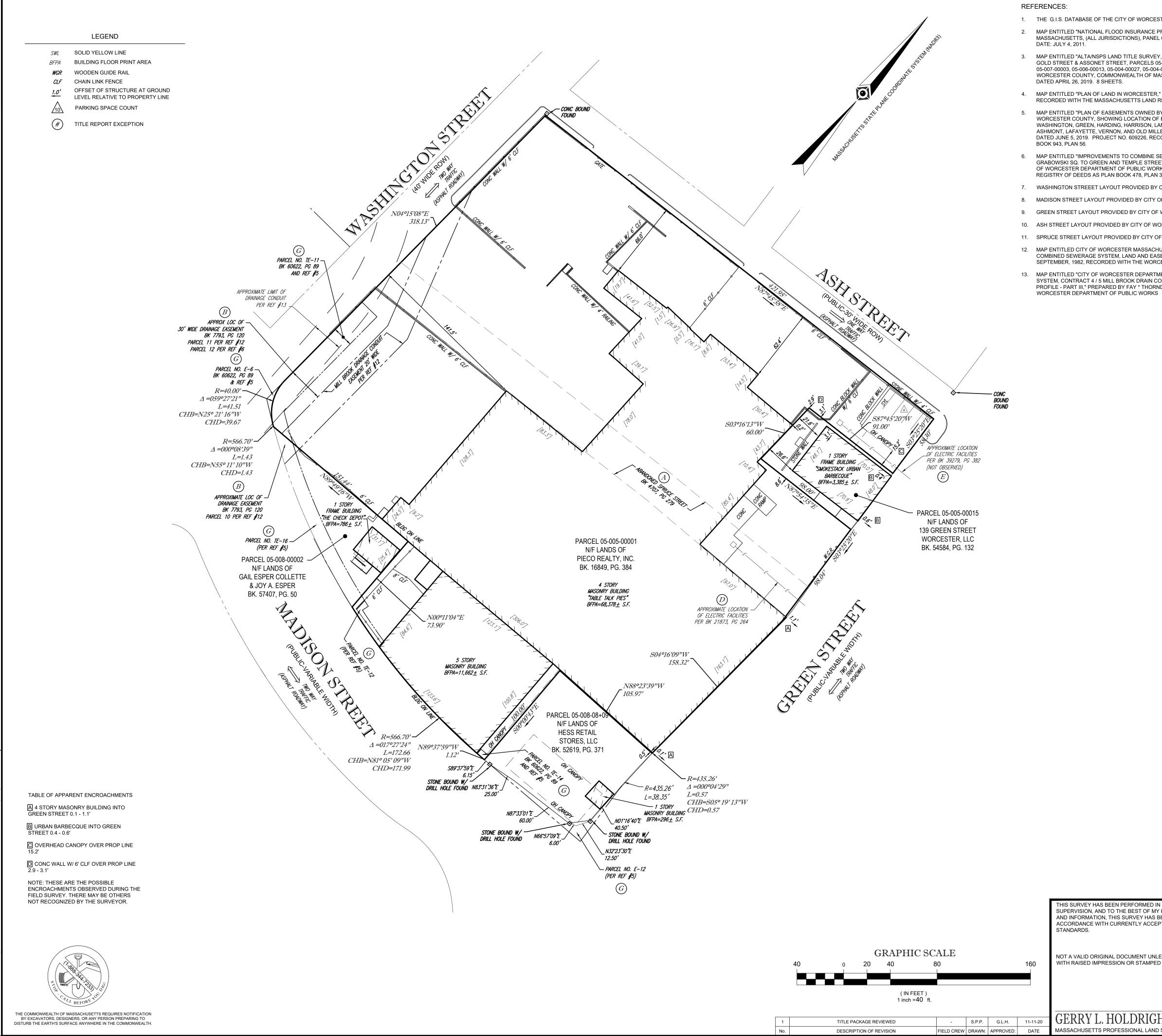
B URBAN BARBECQUE INTO GREEN

STREET 0.4 - 0.6'

CONC WALL W/ 6' CLF OVER PROP LINE 2.9 - 3.1'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.





- MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 618 OF 1075," COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE

- BOOK 943, PLAN 56.
- REGISTRY OF DEEDS AS PLAN BOOK 478, PLAN 3.
- 9. GREEN STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.

1. THE G.I.S. DATABASE OF THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM. FIRM. FLOOD INSURANCE RATE MAP. WORCESTER COUNTY.

MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, WYMAN-GORDON COMPANY, MADISON STREET, WASHINGTON STREET, GOLD STREET & ASSONET STREET, PARCELS 05-010-00001, 05-009-00019, 05-009-00014, 05-009-00009, 05-007-00004, 05-007-00003, 05-006-00013, 05-004-00027, 05-004-03+04, 05-003-00017, 05-003-00016, & 05-003-00012, CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC.,

MAP ENTITLED "PLAN OF LAND IN WORCESTER," PREPARED BY ROBINSON ENGINEERING, INC., DATED DECEMBER, 1953. RECORDED WITH THE MASSACHUSETTS LAND REGISTRATION OFFICE AS L.C.C. #25448A.

MAP ENTITLED "PLAN OF EASEMENTS OWNED BY THE CITY OF WORCESTER, WORCESTER, MASSACHUSETTS, WORCESTER COUNTY, SHOWING LOCATION OF EASEMENTS FOR THE PURPOSE OF RECONSTRUCTION MADISON, WASHINGTON, GREEN, HARDING, HARRISON, LAMARTINE, MILLBURY, ENDICOTT, SIGEL, ELLSWORTH, ARWICH, ASHMONT, LAFAYETTE, VERNON, AND OLD MILLBURY STREETS FOR THE CITY OF WORCESTER," PREPARED BY VHB, DATED JUNE 5, 2019. PROJECT NO. 609226, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN

MAP ENTITLED "IMPROVEMENTS TO COMBINE SEWERAGE SYSTEM, PLAN OF SEWER EASEMENTS, DRAINAGE CONDUIT, GRABOWSKI SQ. TO GREEN AND TEMPLE STREET, ALONG WASHINGTON STREET AND RAILROAD," PREPARED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, DATED MAY, 1978. RECORDED WITH WORCESTER COUNTY

WASHINGTON STREEET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.

MADISON STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.

10. ASH STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS

11. SPRUCE STREET LAYOUT PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, PLAN H-32 6842 12. MAP ENTITLED CITY OF WORCESTER MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, LAND AND EASEMENTS ACQUIRED FOR MILL BROOK DRAINAGE CONDUIT," DATED SEPTEMBER, 1982, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS AS PLAN BOOK 507, PLAN 46.

MAP ENTITLED "CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS, IMPROVEMENTS TO COMBINED SEWERAGE SYSTEM, CONTRACT 4 / 5 MILL BROOK DRAIN CONDUIT (SOUTH MIDDLE SECTIONS) DRAINAGE CONDUIT PLAN AND PROFILE - PART III," PREPARED BY FAY * THORNDIKE, DATED JANUARY 1983, SHEET 8 OF 47, FILED WITH THE

©2013 ESRI WORLD STREET MAPS

NOTES:

- 1. PROPERTY KNOWN AS PARCEL 05-005-00001 AS DEPICTED ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS G.I.S. MAPS.
- 2. AREA = 170,029 SQUARE FEET OR 3.903 ACRES
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST LAND TITLE COMPANY, HAVING REFERENCE NUMBER 30895, WITH AN EXAM ENDING DATE OF OCTOBER 23, 2020, WHERE THE FOLLOWING SURVEY RELATED DOCUMENTS ARE LISTED:
- A DECLARATION AND DECREE OF ABANDONMENT OF SPRUCE STREET BY THE CITY OF WORCESTER RECORDED IN BOOK 4707, PAGE 279: ABANDONED SPRUCE STREET SHOWN
- B TAKING IN FEE FOR FLOOD DRAINAGE CONDUIT BY THE CITY OF WORCESTER RECORDED IN BOOK 7793. PAGE 120: DRAINAGE EASEMENTS NO. 10 & NO. 11 SHOWN.
- EASEMENTS FOR SEWER AND WATER PURPOSES RESERVED BY CITY OF WORCESTER IN DEED RECORDED IN C BOOK 11466, PAGE 192 - EASEMENTS FOR WATER AND SEWER PURPOSES EXIST WITHIN ABUTTING STREET; NOT PLOTTABLE.
- D EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DATED AUGUST 17. I 999 AND RECORDED IN BOOK 21873,
- PAGE 264 APPROXIMATE LOCATION OF ELECTRIC FACILITIES SHOWN EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY DATED JUNE 1, 2006 AND RECORDED IN BOOK 39279, PAGE
- 382: ELECTRIC FACILITIES NOT OBSERVED IN THE FIELD; LOCATION OF FACILITIES PLOTTED PER EXHIBIT.
- F TAKING OF TEMPORARY EASEMENTS BY CITY OF WORCESTER RECORDED IN HOOK 46275. PAGE 125: **TEMPORARY** EASEMENT EFFECTIVE PERIOD IS EXPIRED.
- (G) TAKING FOR LAYOUT OF GREEN STREET, MADISON STREET AND WASHINGTON STREET BY CITY OF WORCESTER RECORDED IN BOOK 60622. PAGE 89. AND RESTATED IN BOOK 61792, PAGE 227; - TEMPORARY AND PERMANENT EASEMENTS SHOWN TEMPORARY EASEMENTS (TE) EXPIRE JUNE 27, 2022.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- 7. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 8 THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

EN PERFORMED IN THE FIELD UNDER MY THE BEST OF MY KNOWLEDGE, BELIEF, IIS SURVEY HAS BEEN PERFORMED IN URRENTLY ACCEPTED ACCURACY	FIELD DATE 09-14-2020	TITLE REVIEW SURVEY TABLE TALK PIES, INC. 153 GREEN STREET PARCEL 05-005-00001 CITY OF WORCESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS				
	FIELD BOOK NO. 20-11 MA					
. DOCUMENT UNLESS EMBOSSED SION OR STAMPED WITH A BLUE INK SEAL	FIELD BOOK PG.					
10-06-2020	FIELD CREW	Ă	CONTR s s o c i	ATES,	INC A	LBANY, NY 5182175010 Alfont, pa 2157129800
	drawn: R.J.K.	352 TURNPIKE ROAD MANHATTAN, NY 646780 SOUTHBOROUGH, MA 01772 MT LAUREL, NJ 60985' 508.948.3000 - 508.948.3003 FAX WARREN, NJ 908668				
OLDRIGHT, PLS DATE	REVIEWED: G.L.H.	APPROVED: G.L.H.	^{DATE} 10-06-2020	scale 1" = 40'	FILE NO. 03-200266	dwg. no. 1 OF 1

